

New Port City of Portsmouth, Virginia

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The Lessard Architectural Group

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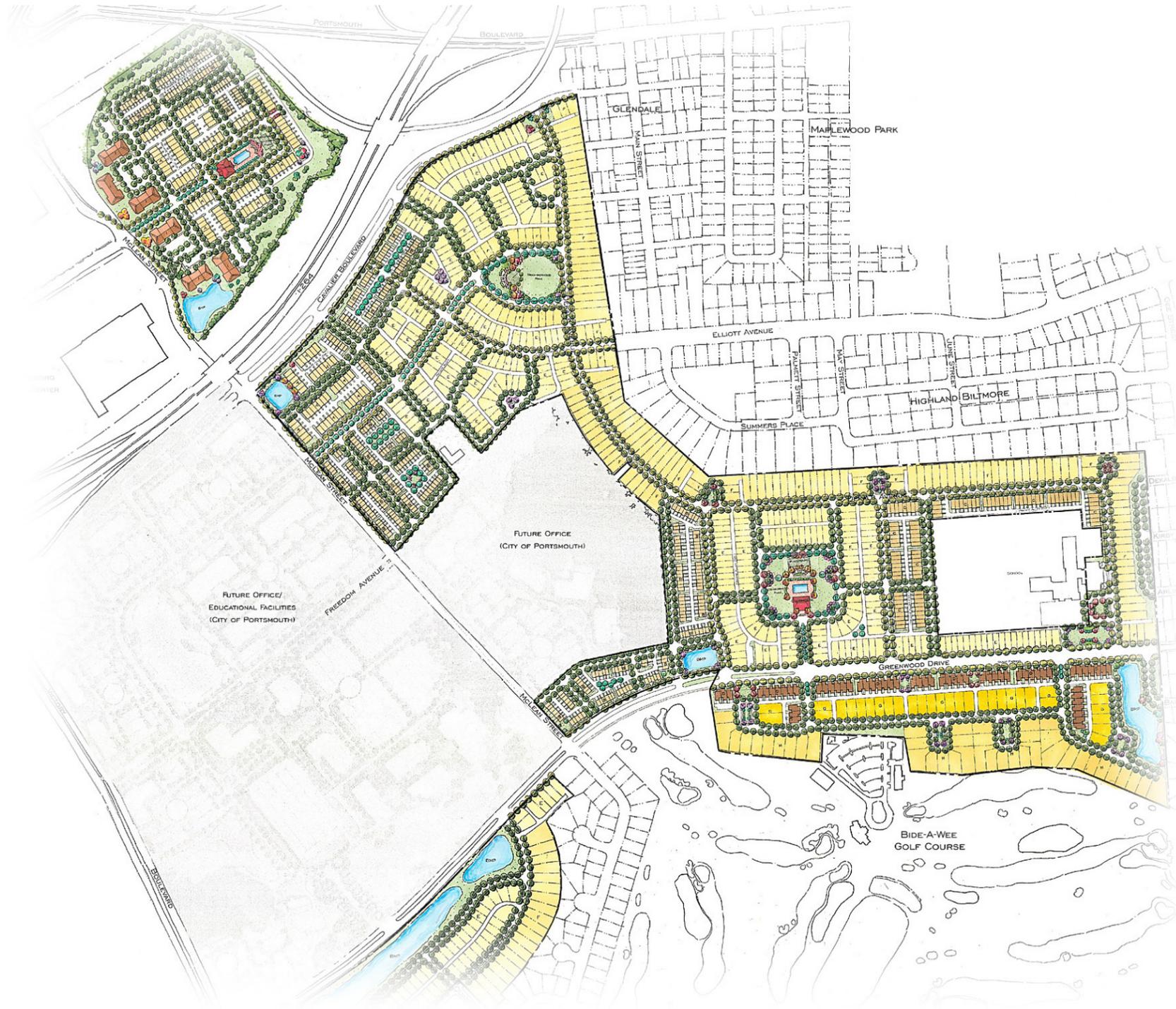
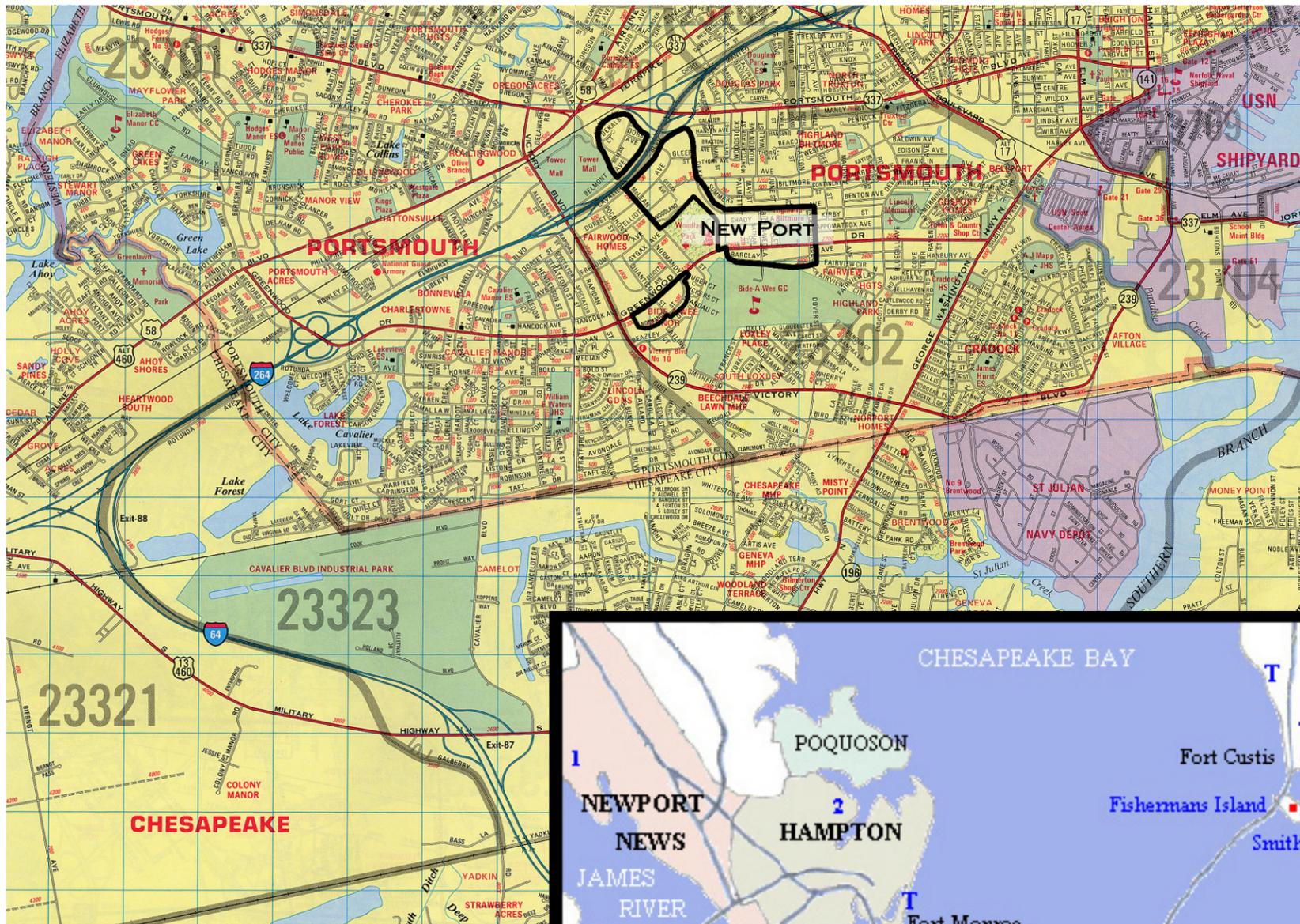


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Every community has a personality that distinguishes it from others. Located in the City of Portsmouth, the Victory Crossing corridor is in close proximity to a variety of land uses, defining it as an adaptable neighborhood of extraordinary quality. The location of nearby retail, offices, and 18-hole championship golf course each contribute to the land's unique appeal.

An extensive urban revitalization program which started in 1993 is striving to bring back economic vitality into the core of Portsmouth. This vision focuses on revitalizing areas from the downtown waterfront to the Business District. New Port is currently one of Portsmouth's largest developable areas, containing a mix of retail, office and industrial areas. New Port will have Design Guidelines which are to be used as a tool in development and maintaining architectural quality. The guidelines shall be used to prevent incompatible construction as well as to improve the physical environment and its aesthetics. The purpose is not to promote excessive conformity, but to remain flexible and to encourage creativity among the builders. It is for this reason that we have developed a set of design principles and architectural patterns, which will assist builders in preserving the integrity of New Port.





Traditional Neighborhood Design and Development Standards

The following principle traditional neighborhood design concepts will guide the design of New Port:

- Building locations close to streets and roadways will strengthen the pedestrian environment, contribute to the creation of a sense of place and encourage social interaction.
- Multiple housing product types within New Port will result in a diverse community.
- Lot size and configurations will be designed to encourage an efficient and intense use of the land and maximize community open space, while minimizing traffic congestion, infrastructure costs and urban sprawl.
- Setbacks, with minimum building front yard setback dimensions will be provided to increase the sense of community and neighborhood feel. Setback dimensions will provide adequate room for porches, sidewalks and streetscape improvements.
- Neighborhoods will be designed with an integration of building sites and traffic within a fine network of interconnecting streets and alleys.
- The land use pattern, street layouts, and density will make bicycling and walking viable alternatives to driving, especially for routine trips within the community. Additionally, neighborhood parks and greens are located throughout and are easily accessible.
- Architecture will respond to the character of buildings and spaces of traditional architectural elements, with recommended “Craftsman,” “Colonial Traditional,” “Classical,” and “Bungalow” styles. Buildings will contribute to the spatial definition of streets, greens, yards, parks, and other open spaces.



Site Summary

Gross Area	208.1 +/- AC
Net Area	162.9 +/- AC
Total Number of Units	1628
Gross Density	7.8 DU/AC
Net Density	10 DU/AC
Open Space	27 +/- AC 17% Net

Residential Summary

Product Type	Units	
A Stacked Townhomes	310	
B 16' - 20' Wide Townhomes	375	
C 22' - 26' Wide Townhomes	93	
D 32' Wide Townhomes	90	
Subtotal Attached Dwellings	838	51%
E 20' - 24' Wide Single Family Homes	401	
F 32' Wide Single Family Homes	172	
G 42' Wide Single Family Homes	32	
H 50' Wide Single Family Homes	41	
Subtotal Detached Dwellings	646	40%
I 3 Story Multifamily Flats	144	9%
Total Units	1628	



■ ■ ■ The property consists of four development zones encompassing 208.1± acres and divided by the major roads of Greenwood Drive, Interstate 264, and Bide-A-Wee Golf Course. Incorporated within the gross acreage is 45.2± acres of public street, which leaves a net developable acreage of 162.9± acres for establishment of the new community.

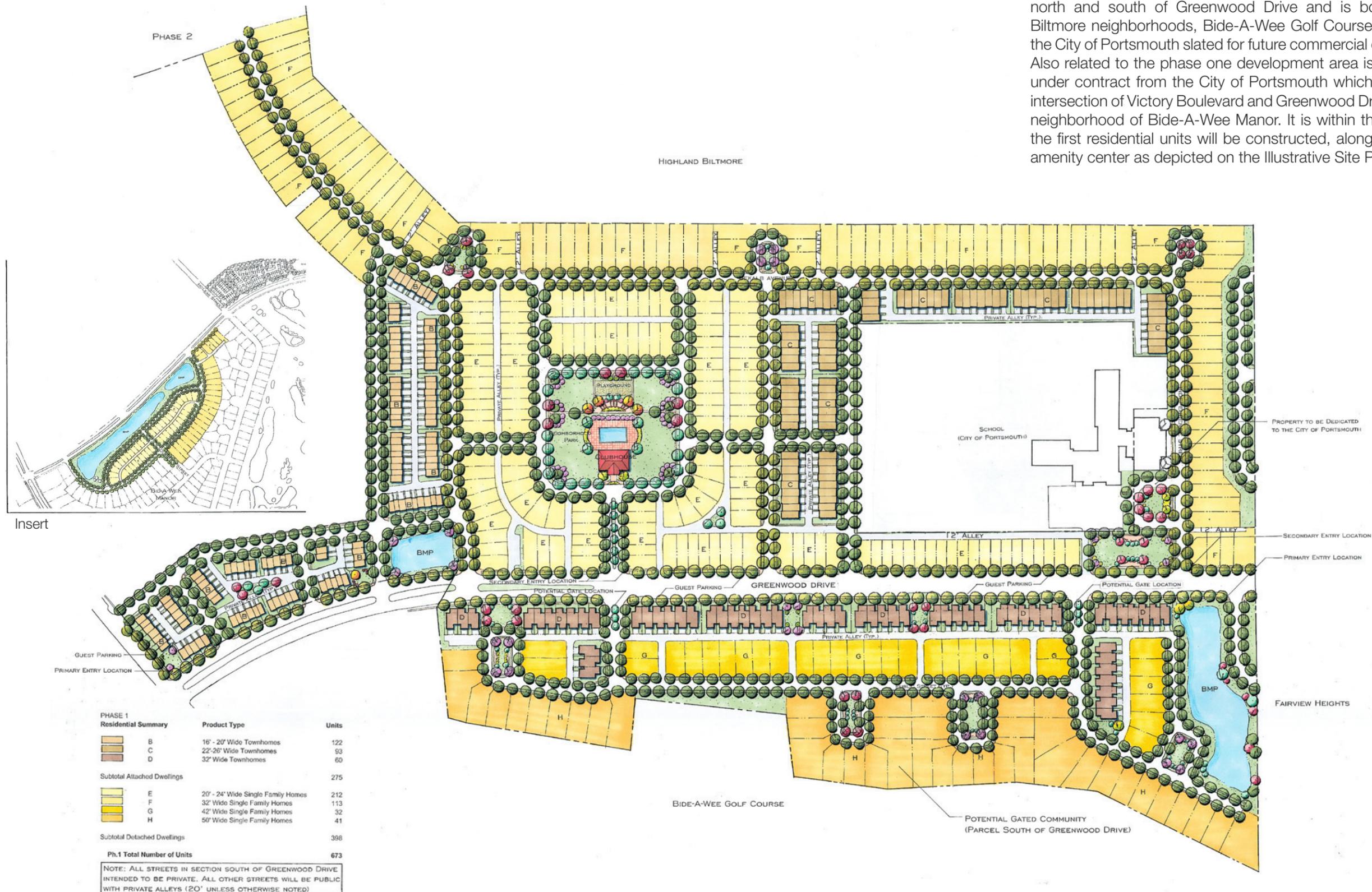
The subject property is the site of the prior rental community of Fairwood Homes, which encompassed approximately 800 homes originally built as temporary housing for wartime shipyard workers in the early 1940's. A warehouse facility also resides on the property adjacent to the southeast corner of Mclean Street and Elliot Avenue.

Care was taken in the placement of residential product to transition from high to low density housing product depending on adjacent existing or proposed land uses. Where commercial, office, or industrial development exists or is anticipated higher density housing product will be utilized. Housing product will then be transitioned to a lower density nature, especially in relation to the existing adjacent residential neighborhoods. There single family detached housing product will be utilized to assure reasonable neighborhood compatibility.

The proposed lot sizes range from 1040± s.f. (for a 16' wide townhouse) to 6,000+ s.f. (for a 50' wide single family detached home), with an abundance of housing product accommodated by alleys and rear-access garages, which will provide for an attractive streetscape and tremendous "curb" appeal. The development plan is flexible enough to accommodate homes with front or rear-access garages depending upon location within the proposed residential community.

The majority of housing product will be fee simple with subdivision on public or private streets. The exceptions will be the multi-family flats, stacked townhouses and perhaps a small section of townhouses in what has been described as phase three. The alleys will be private. The individual street section design will be based upon the city of Portsmouth's requirements for subdivision streets.

■ ■ ■ The property's boundaries and "infill" nature of the site tends to segment the proposed community into three distinct areas that we have established as approximate phases for development. The first phase lies north and south of Greenwood Drive and is bounded by the Highland Biltmore neighborhoods, Bide-A-Wee Golf Course, and property owned by the City of Portsmouth slated for future commercial or industrial development. Also related to the phase one development area is property recently placed under contract from the City of Portsmouth which is nearly adjacent to the intersection of Victory Boulevard and Greenwood Drive and is bordered by the neighborhood of Bide-A-Wee Manor. It is within these described areas that the first residential units will be constructed, along with the first clubhouse/amenity center as depicted on the Illustrative Site Plan.



■ ■ ■ The second phase is bounded by Mclean Street, Interstate 264, the Glendale neighborhood, and properties owned by the City of Portsmouth, and are connected to phase one by Dekalb Avenue. This site has its own central park/greenspace amenity and connective landscaped boulevard.



■ ■ ■ The third phase is bounded by Mclean Street and Interstate 264 and lies adjacent to the developing commercial center that was once Tower Mall. This site has a central amenity/clubhouse that will support the accompanying residences.

These described phases are considered an initial development strategy, and adherence to this strategy will depend on future market trends. Additionally we may wish to develop residential product simultaneously in the other phases and augment our housing portfolio with product not slated for phase one construction.



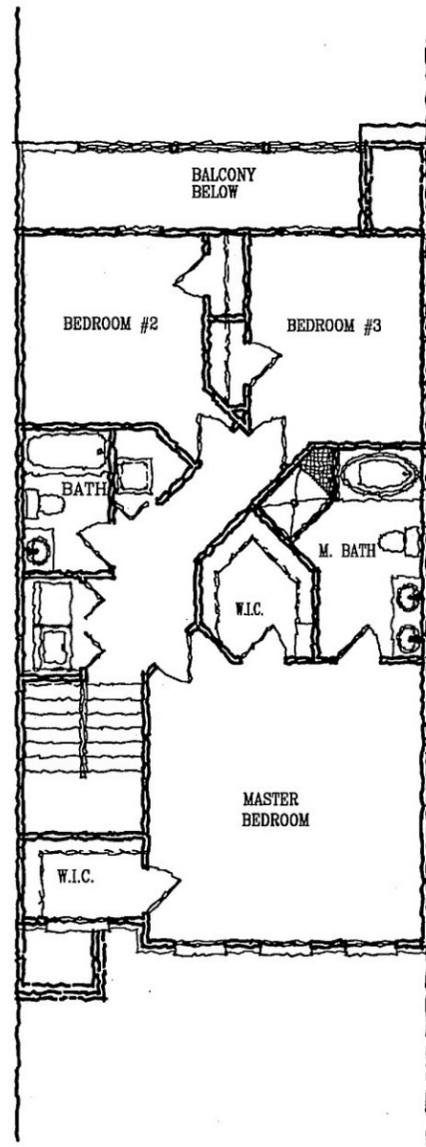
PHASE 3 Residential Summary		
Product Type	Units	
A Stacked Townhomes	208	
B 16' - 20' Wide Townhomes	75	
I 3 Story Multifamily Flats	144	
Ph.3 Total Number of Units	427	

NOTE: ALL STREETS ON THIS SECTION ARE PRIVATE WITH PRIVATE ALLEYS (20' UNLESS OTHERWISE NOTED)



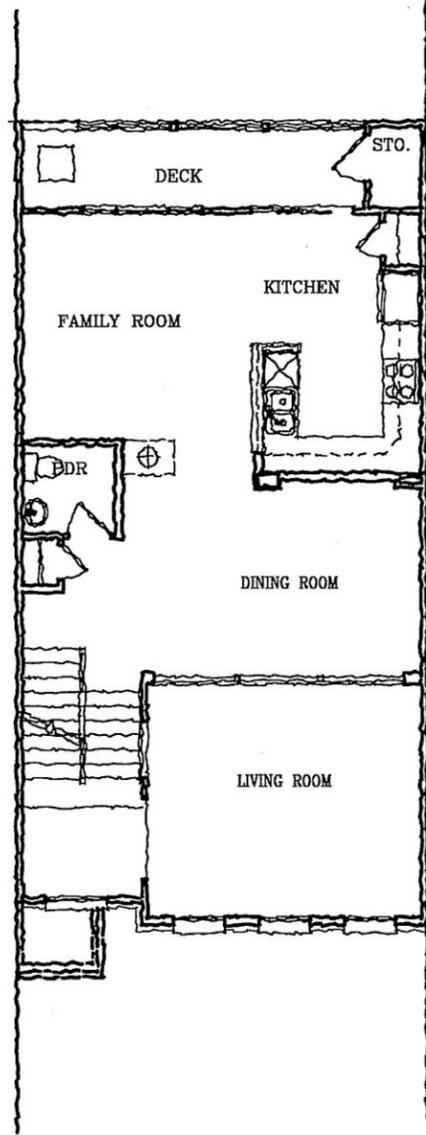


Stacked Townhomes (A)



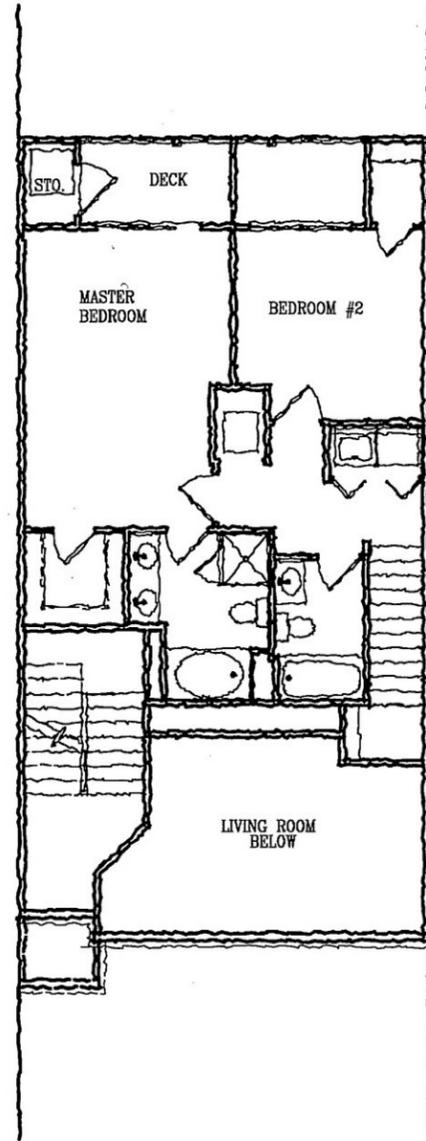
Third Floor Plan

Scale: 1/8" = 1'-0"



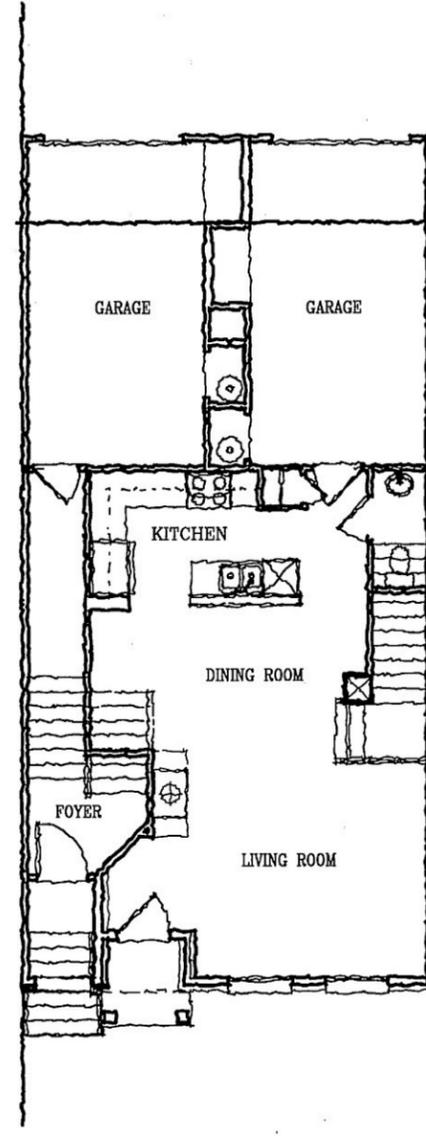
Second Floor Plan

Scale: 1/8" = 1'-0"



First Floor Plan

Scale: 1/8" = 1'-0"

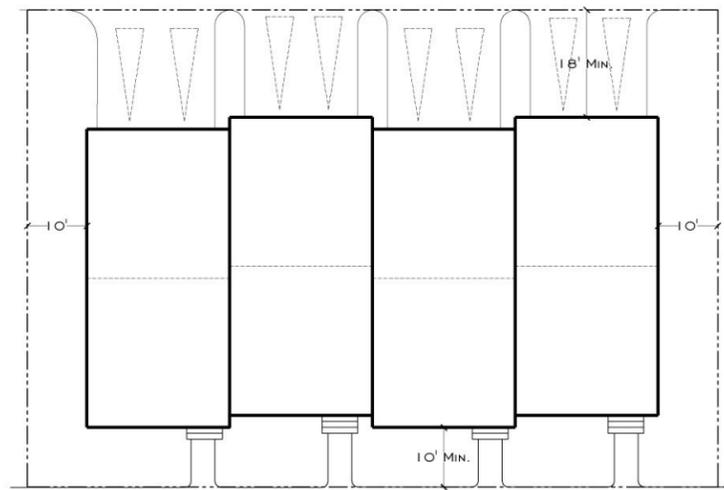


Ground Floor Plan

Scale: 1/8" = 1'-0"



PRIVATE - 20' ALLEY



10' MIN.

18' MIN.

R.O.W. OR
BACK OF
SIDEWALK

PUBLIC OR PRIVATE STREET

Stacked Townhomes (A)

SETBACKS

- FRONT YARD TO PORCH 10' MIN.
- SIDE YARD 10' MIN.
- REAR YARD 18' MIN.

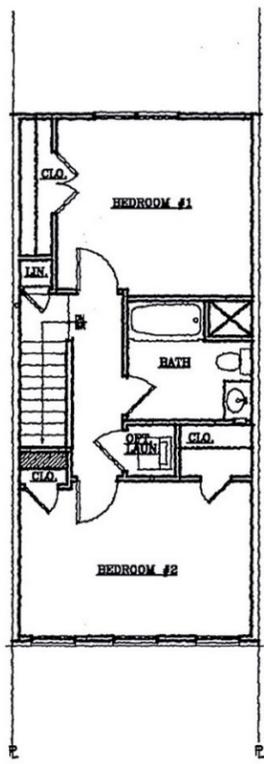
STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.



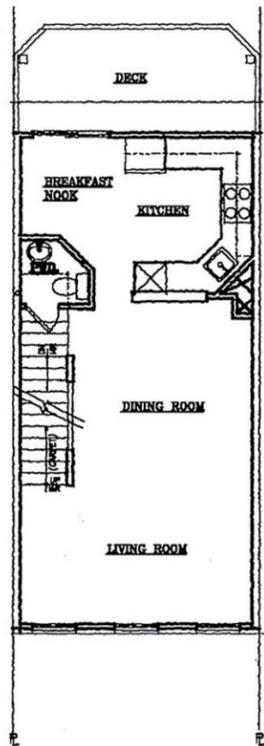


16'-20' Wide Townhomes (B)



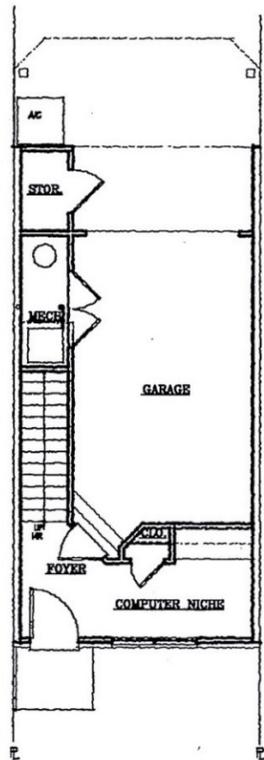
Second Floor Plan

Scale: 1/8" = 1'-0"



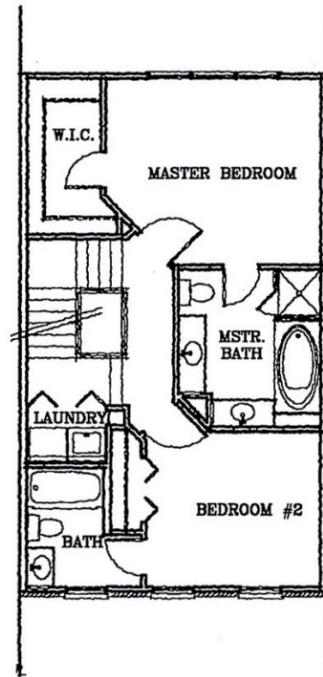
First Floor Plan

Scale: 1/8" = 1'-0"



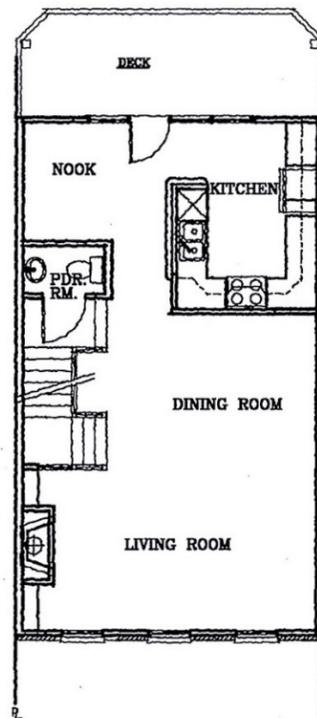
Ground Floor Plan

Scale: 1/8" = 1'-0"



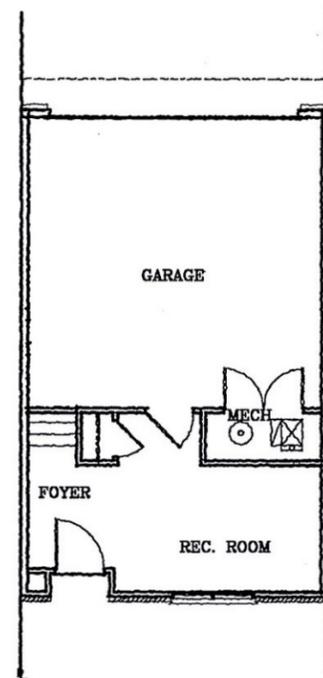
Second Floor Plan

Scale: 1/8" = 1'-0"



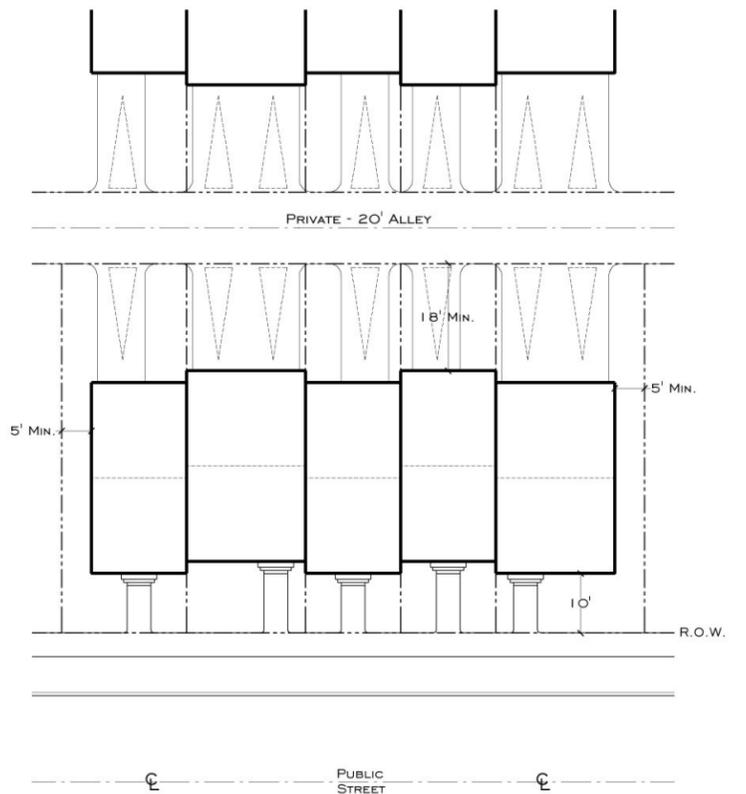
First Floor Plan

Scale: 1/8" = 1'-0"



Ground Floor Plan

Scale: 1/8" = 1'-0"



SETBACKS	
FRONT YARD TO PORCH	1' 0" MIN.
SIDE YARD	5' MIN. (10' MIN. ON CORNER LOTS)
REAR YARD	1' 8" MIN.

STEPS AND STOOPS MAY ENCR OACH 5' INTO FRONT YARD SETBACK

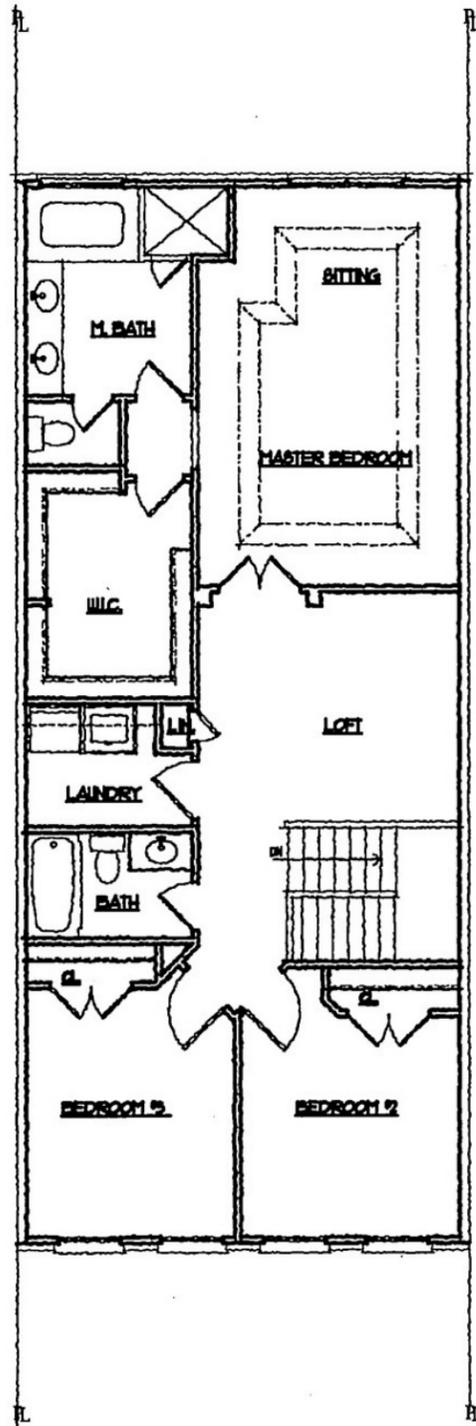
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16'-20' Wide Townhomes (B)



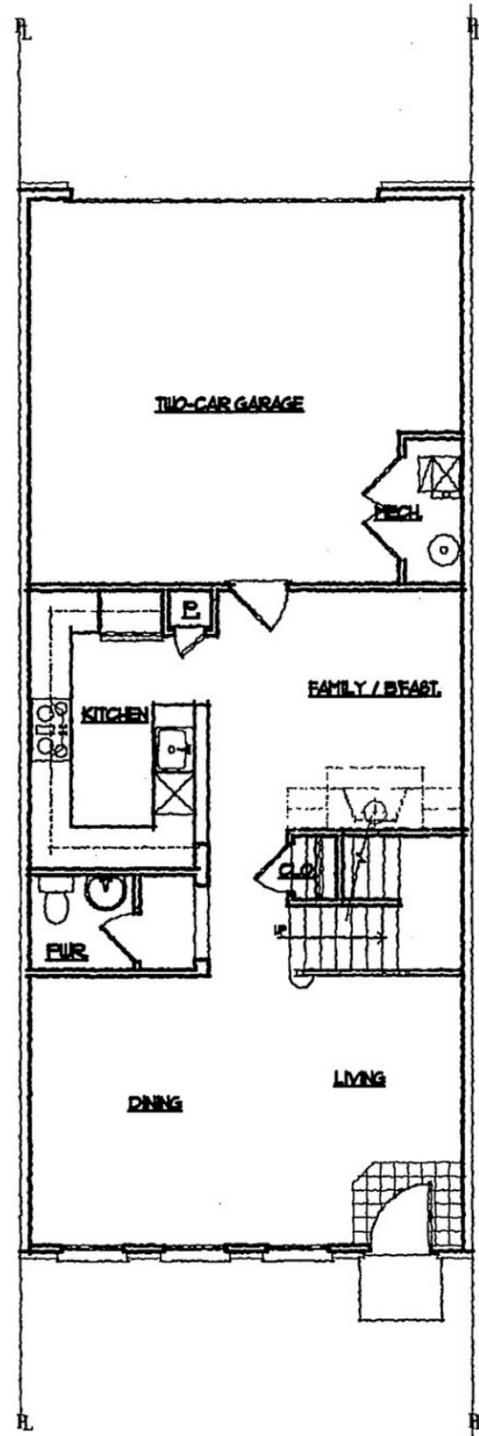


22'-25' Wide Townhomes (C)



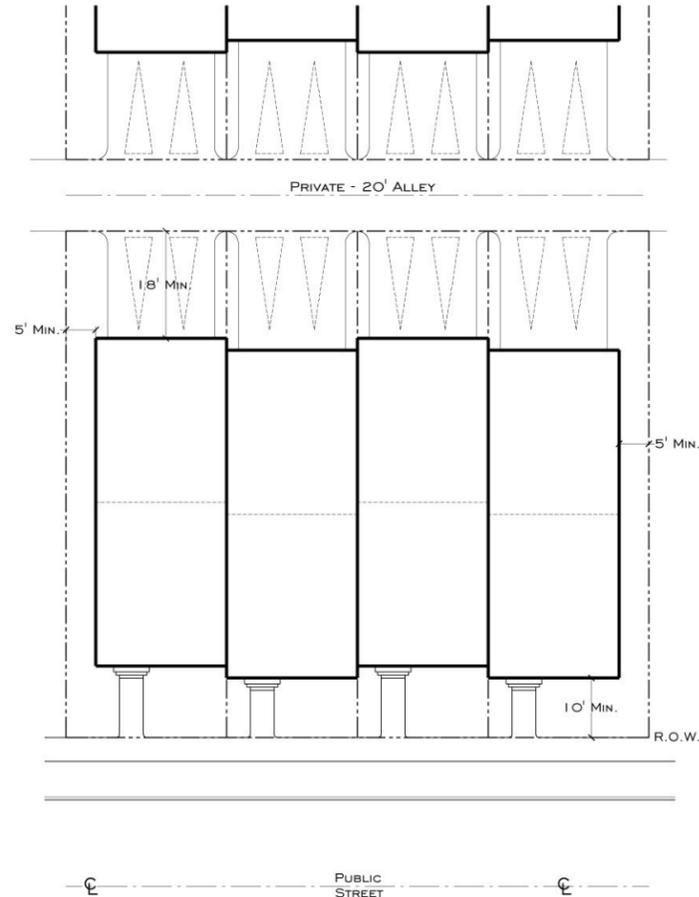
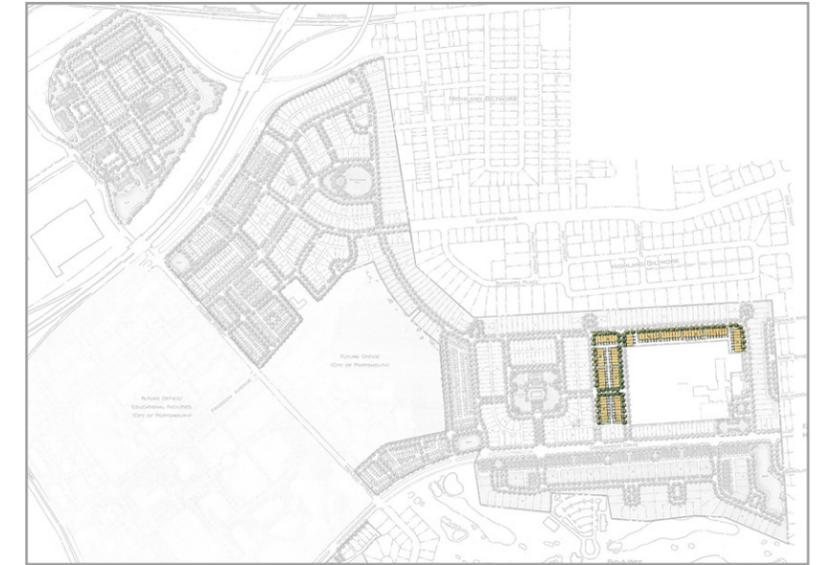
Second Floor Plan

Scale: 1/8" = 1'-0"



Ground Floor Plan

Scale: 1/8" = 1'-0"



SETBACKS
 FRONT YARD TO PORCH 10' MIN.
 SIDE YARD 5' MIN. (10' MIN. ON CORNER LOTS)
 REAR YARD 18' MIN.
 STEPS AND STOOPS MAY ENCR OACH 5' INTO FRONT YARD SETBACK

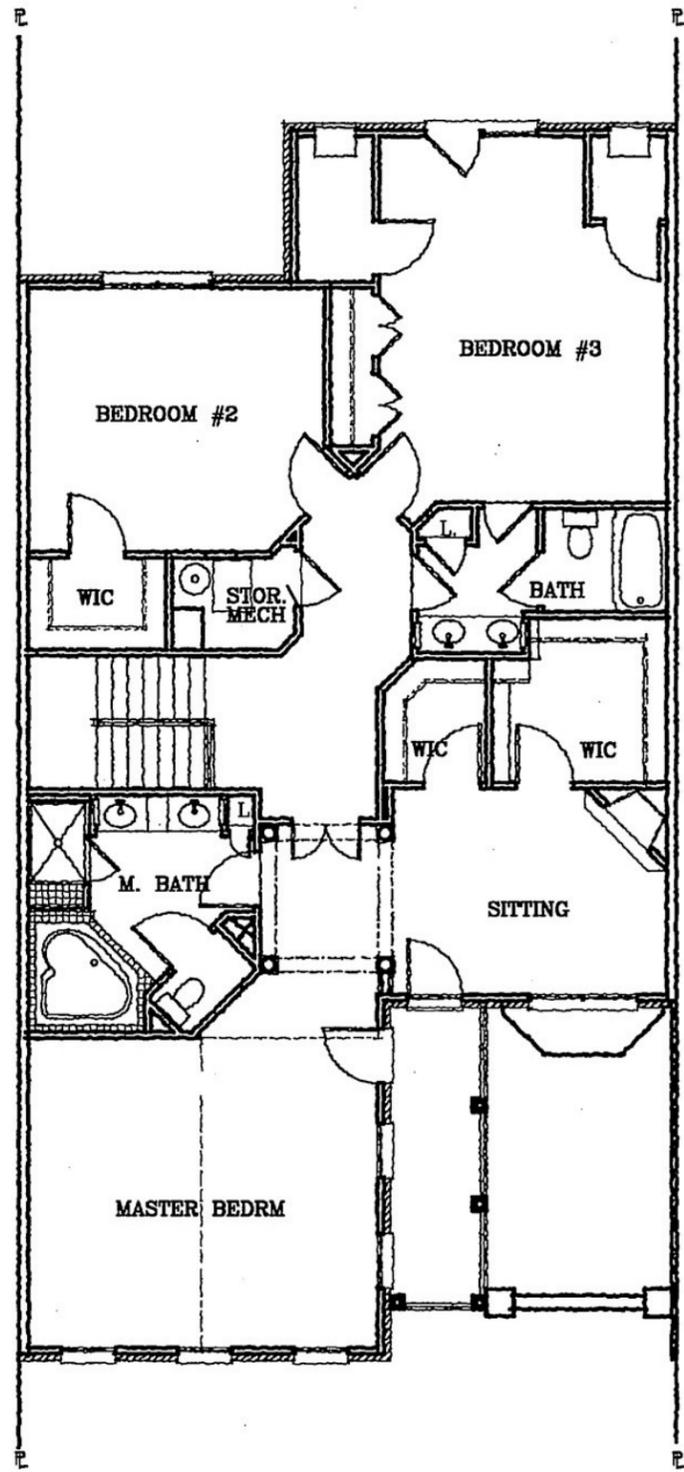
ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.

22'-25' Wide Townhomes (C)

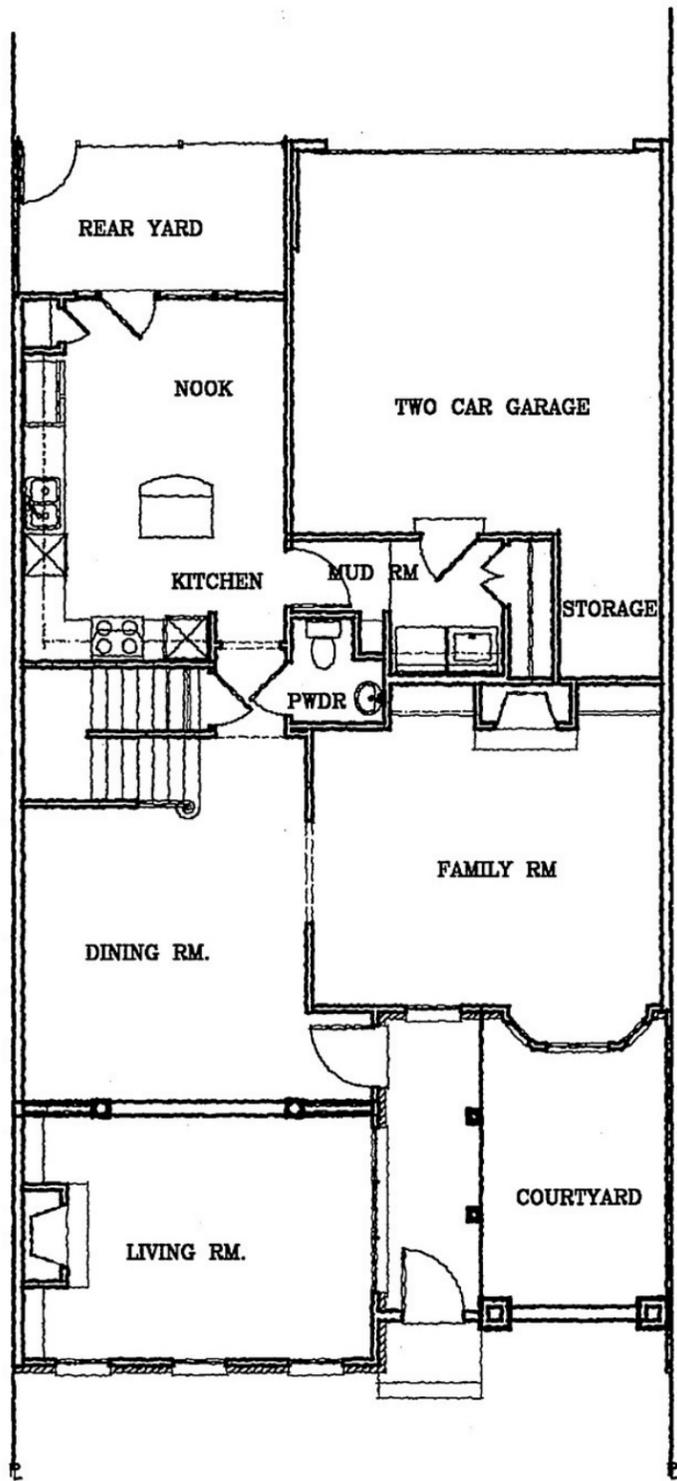




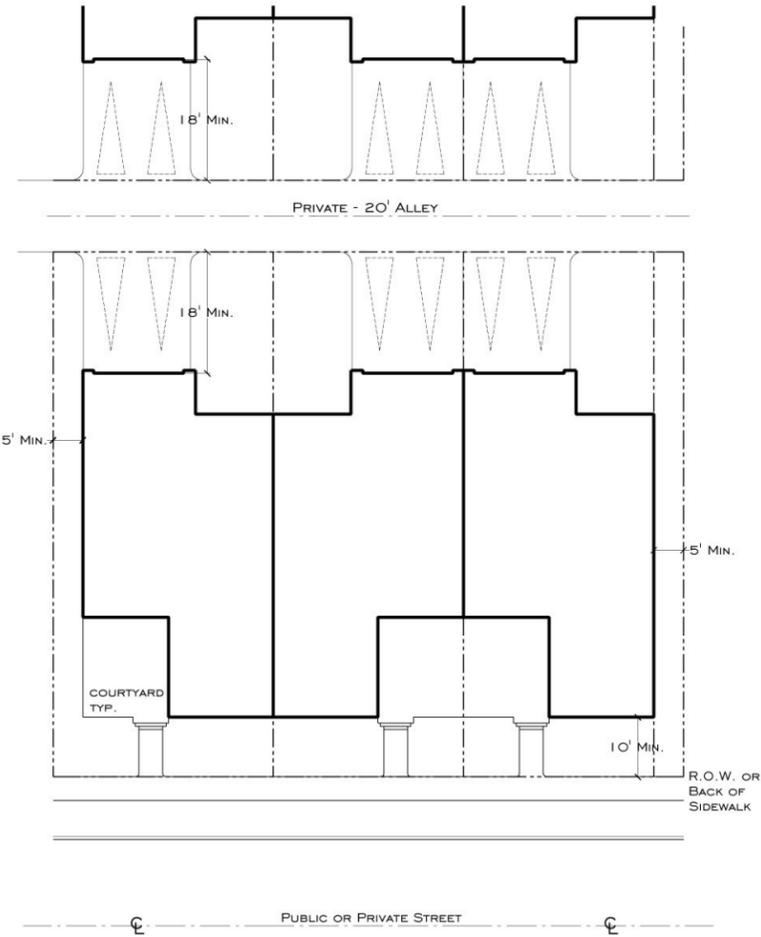
32' Wide Townhomes (D)



Second Floor Plan
Scale: 1/8" = 1'-0"



Ground Floor Plan
Scale: 1/8" = 1'-0"



SETBACKS
 FRONT YARD TO PORCH 10' MIN.
 SIDE YARD 5' MIN. (10' MIN. ON CORNER LOTS)
 REAR YARD 18' MIN.
 STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

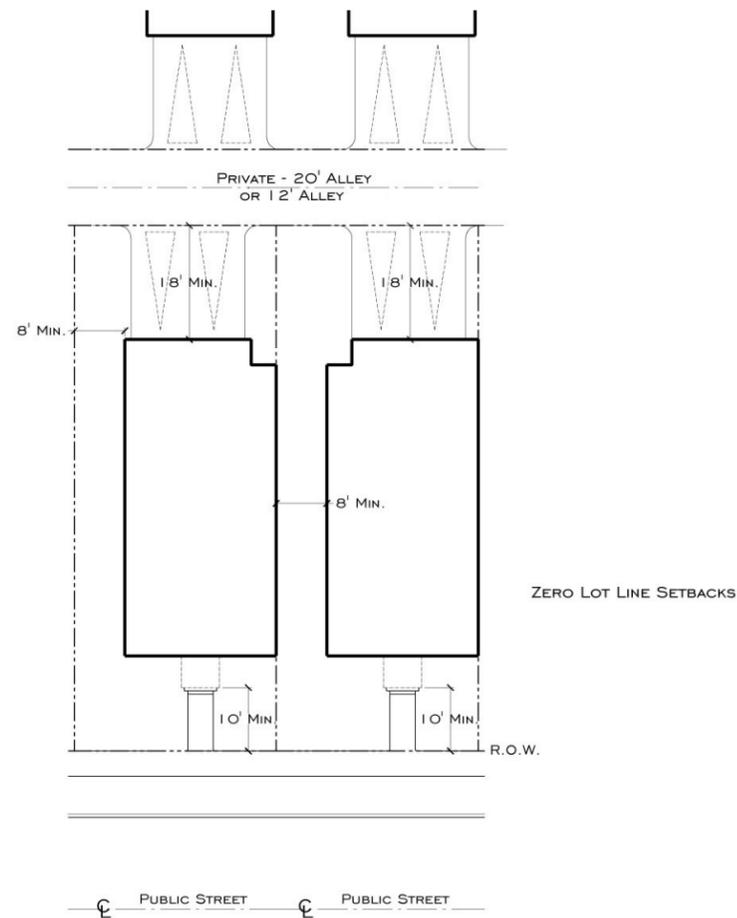
ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.

32' Wide Townhomes (D)



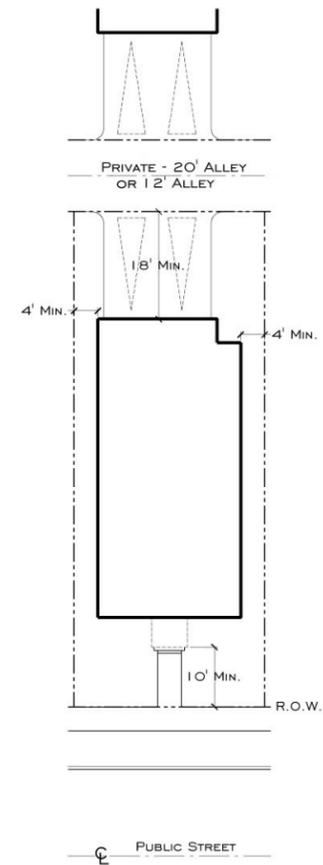


20'-24' Single Family Homes (E)



ZERO LOT LINE SETBACKS
 FRONT YARD TO PORCH 1'0" MIN.
 SIDE YARD 8' MIN.
 REAR YARD 1'8" MIN.
 STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.



SETBACKS
 FRONT YARD TO PORCH 1'0" MIN.
 SIDE YARD 4' MIN. (8' MIN. ON CORNER LOTS)
 REAR YARD 1'8" MIN.
 STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.



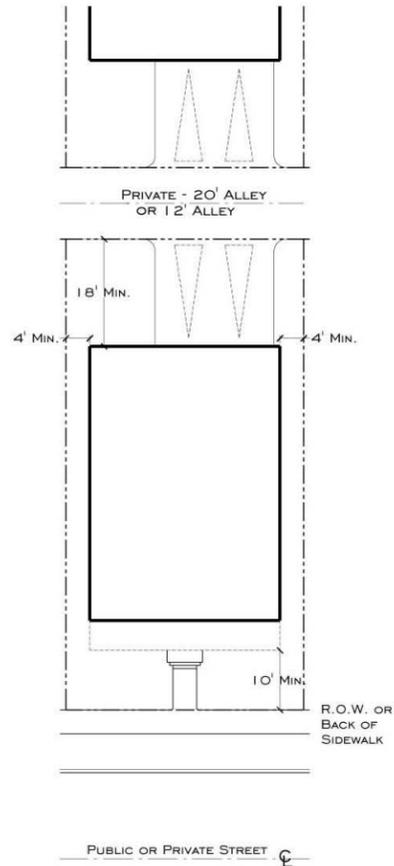
20'-24' Single Family Homes (E)





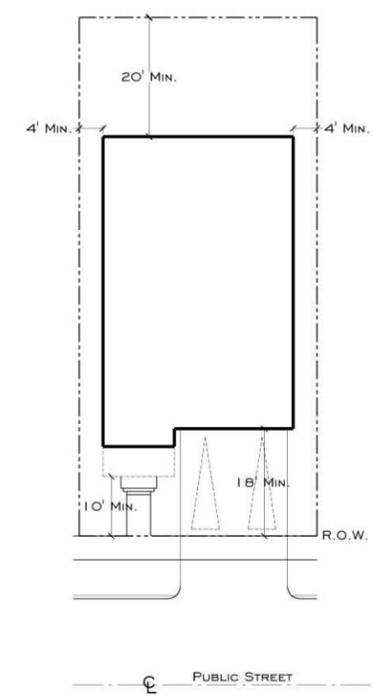
32' Single Family Homes (F)



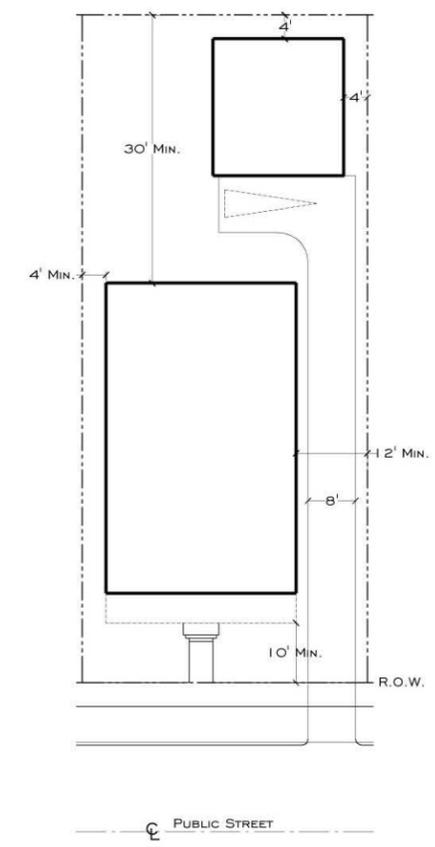


SETBACKS
 FRONT YARD TO PORCH 10' MIN.
 SIDE YARD 4' MIN. (8' MIN. ON CORNER LOTS)
 REAR YARD 18' MIN.
 STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS,
 CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT
 EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE
 FEET IN TO ANY REQUIRED YARD OR SETBACK.



SETBACKS
 FRONT YARD TO PORCH 10' MIN.
 FRONT YARD TO FACE OF GARAGE 18' MIN.
 SIDE YARD 4' MIN. (8' MIN. ON CORNER LOTS)
 REAR YARD 20' MIN.
 STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK



SETBACKS
 FRONT YARD TO PORCH 10' MIN.
 SIDE YARD 4' MIN. (8' MIN. ON CORNER LOTS)
 REAR YARD (ON OPTIONAL GARAGE) 30' MIN.
 STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS,
 CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT
 EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE
 FEET IN TO ANY REQUIRED YARD OR SETBACK.

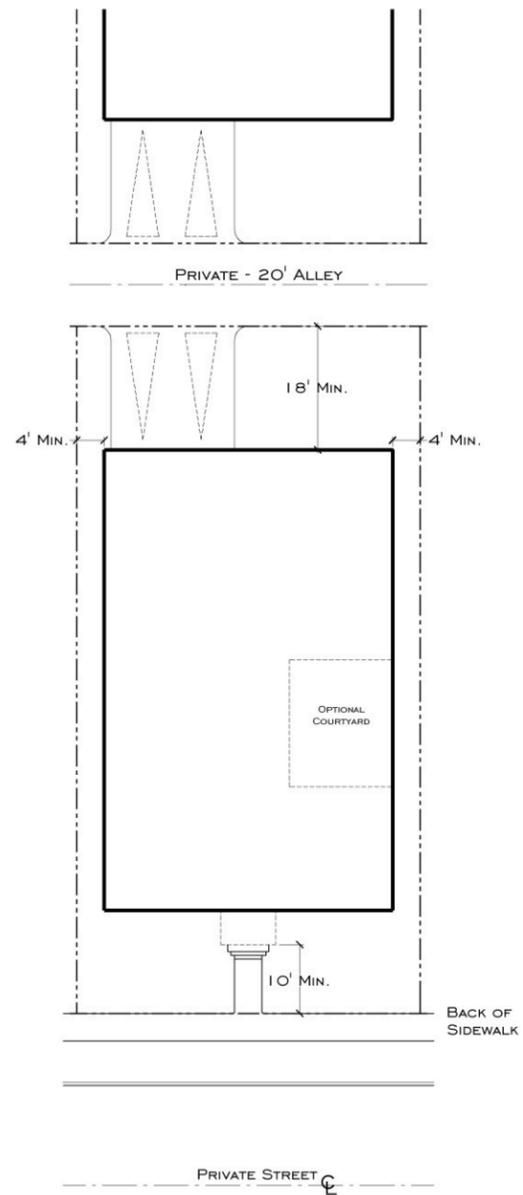
32' Single Family Homes (F)





42' Single Family Homes (G)

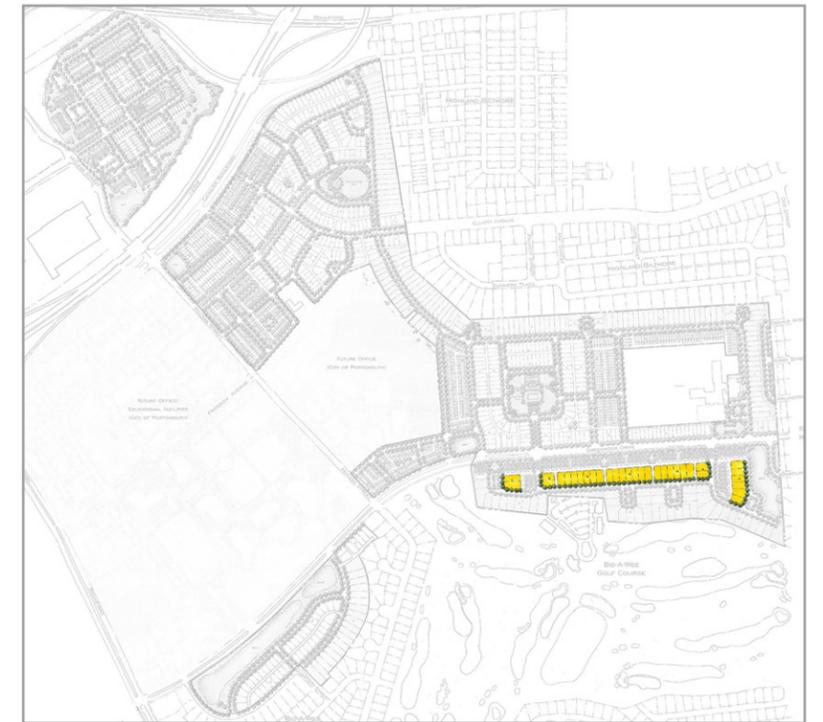




SETBACKS

- FRONT YARD TO PORCH 10' MIN.
 - SIDE YARD 4' MIN. (8' MIN. ON CORNER LOTS)
 - REAR YARD 18' MIN.
- STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.

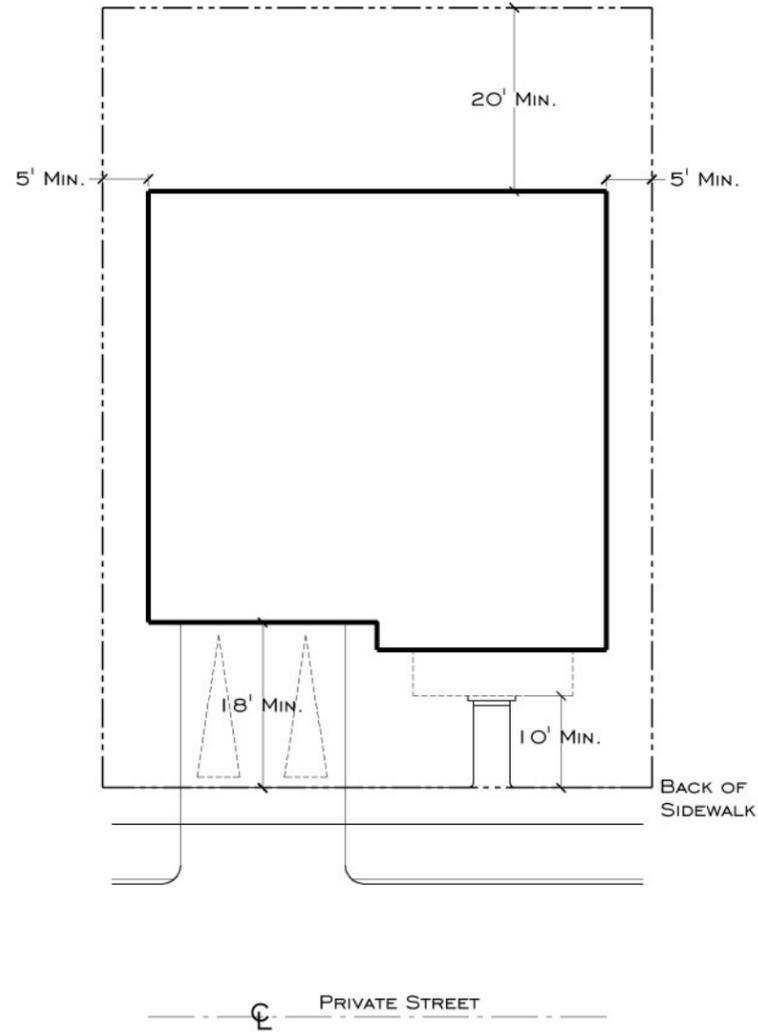


42' Single Family Homes (G)





50' Single Family Homes (H)



SETBACKS

FRONT YARD TO PORCH	10' MIN.
FRONT YARD TO FACE OF GARAGE	18' MIN.
SIDE YARD	5' MIN.
REAR YARD	20' MIN.

STEPS AND STOOPS MAY ENCROACH 5' INTO FRONT YARD SETBACK

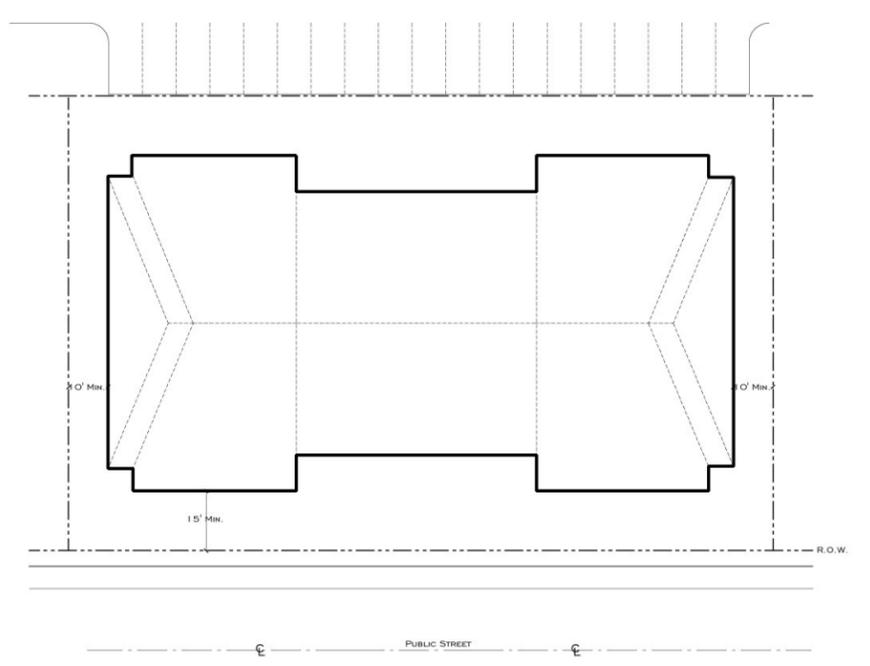
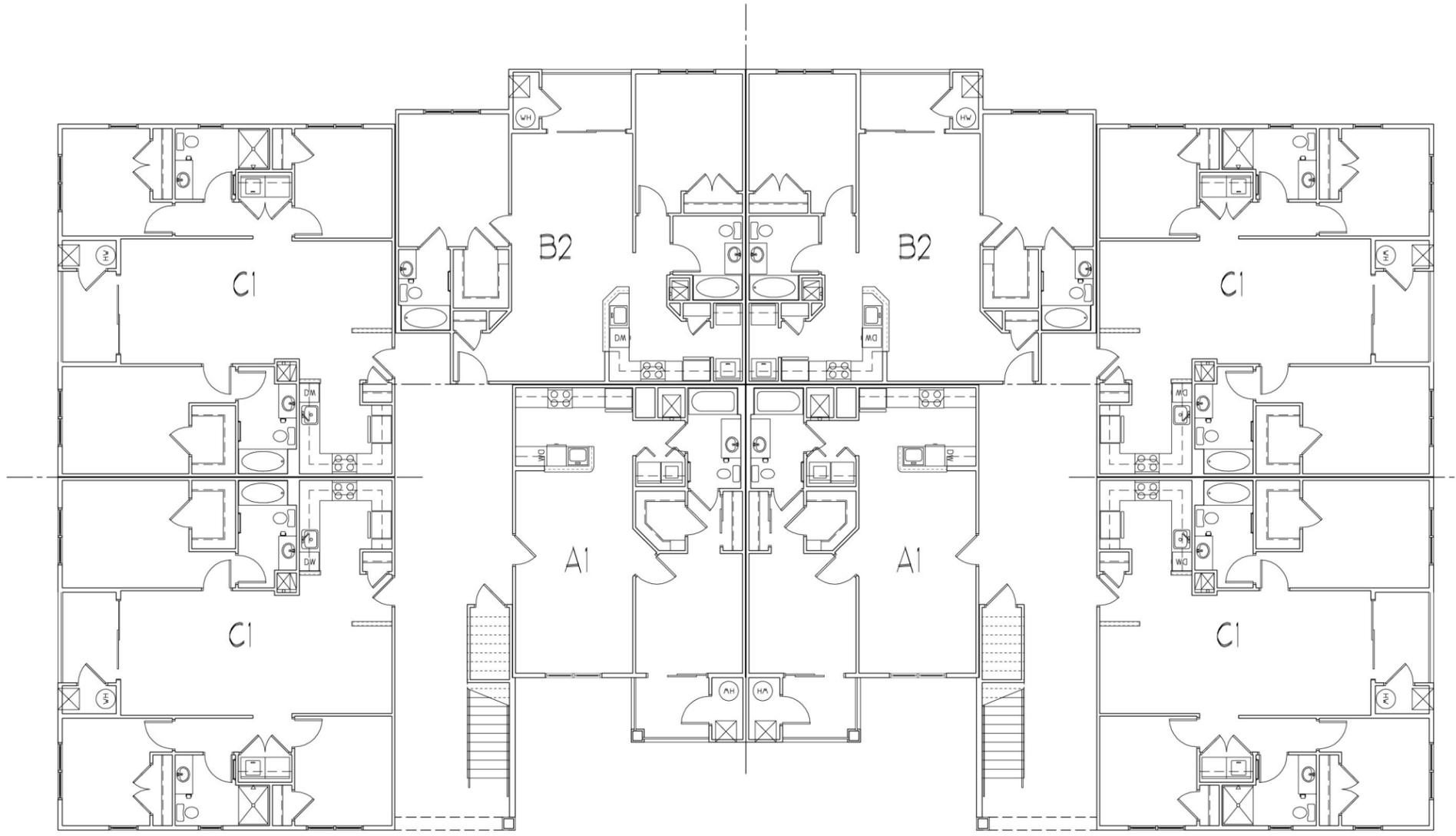
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50' Single Family Homes (H)





3 Story Multifamily Flats (I)



3 Story Multifamily Flats (I)

SETBACKS
 FRONT YARD TO RIGHT OF WAY
 SIDE YARD
 REAR YARD

15' MIN.
 10' MIN.
 15' MIN.

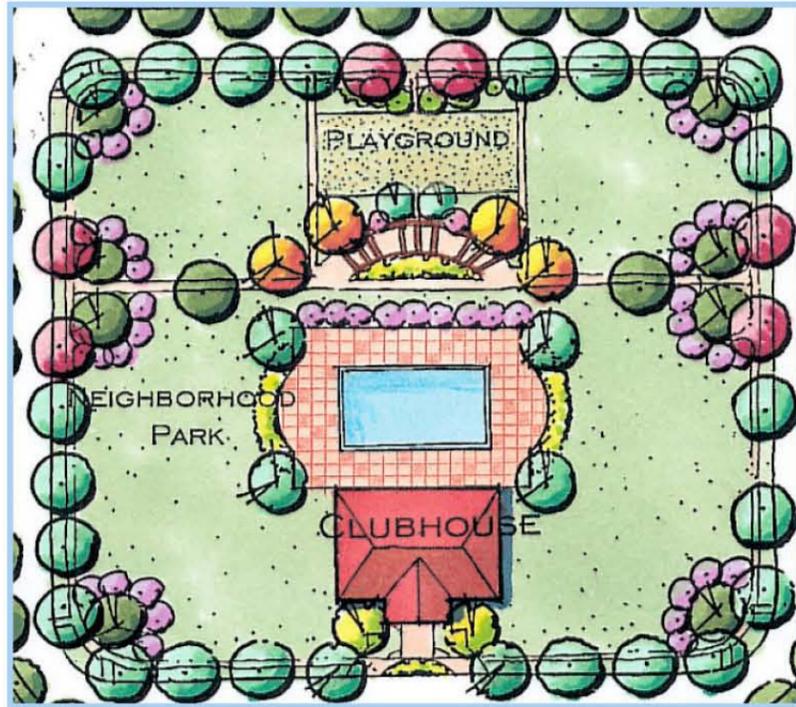
ARCHITECTURAL FEATURES (SUCH AS WINDOWS, SILLS, CHIMNEYS, CORNICES, EAVES, AND GUTTERS, BUT EXCLUDING CANTILEVERS) MAY PROJECT UP TO THREE FEET IN TO ANY REQUIRED YARD OR SETBACK.



■ ■ ■ Community Amenities

Community Amenities will include town greens and a recreation center. Greens will include walkways, open play areas, play equipment, benches, lighting and trash receptacles. These areas will be gathering places for the New Port community homeowners.

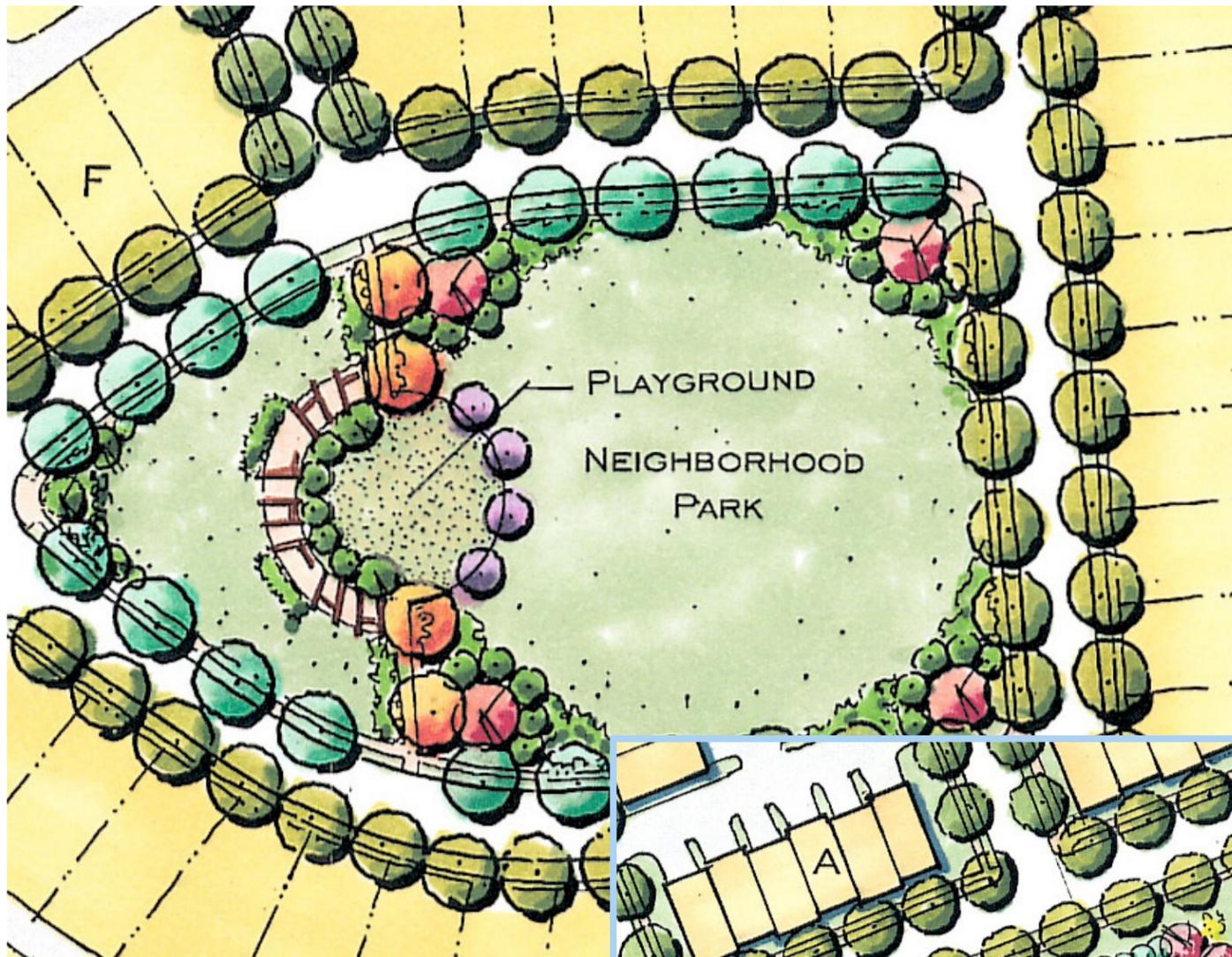




Amenities (Phase I):

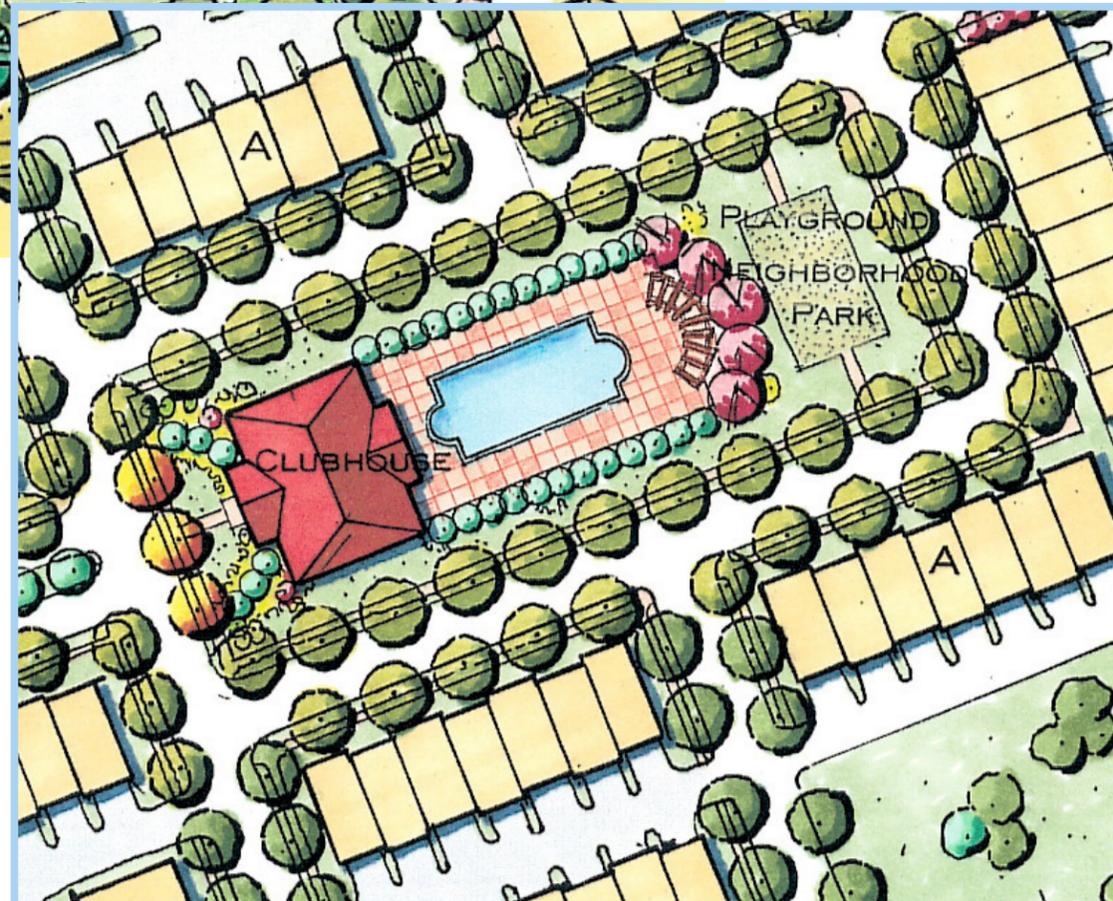
- 2,000 S.F. Clubhouse
 - Great Room / Meeting Room
 - Kitchen
 - Office
 - Restroom facilities
 - Pool equipment and storage
 - Junior Olympic-sized Pool
 - Tot Pool or Water Activity Area
 - Constructed within the first 25% of build out for Phase 1
- Playground
- Treed Perimeter
- Corner landscape accents (Small trees with low shrub mass)
- Central seating area with trellis feature
- Crushed stone or concrete paths
- Benches (6-8)





Amenities (Phase II):

- Playground
- Treed Perimeter
- Corner landscape accents (Small trees with low shrub mass)
- Central seating area with trellis feature
- Crushed stone or concrete paths
- Benches (6-8)

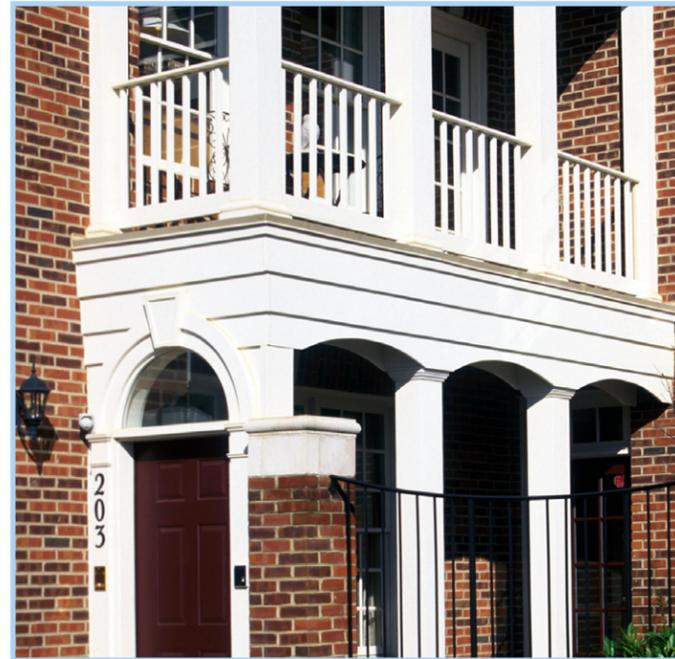


Amenities (Phase III):

- Cabana structure
Restrooms / changing facilities
Pool Equipment and Storage
- Playground
- Treed Perimeter
- Corner landscape accents (Small trees with low shrub mass)
- Central seating area with trellis feature
- Crushed stone or concrete paths
- Benches (6-8)



■ ■ ■ Architectural Amenities





General Residential Guidelines

Cohesive architectural design should be achieved by incorporating the following elements:

- All sides of buildings should be aesthetically pleasing with attention given to front and side elevations adjacent to a public or private street.
- To provide variety and interest in the streetscape, all homes shall incorporate some unifying masonry elements such as foundation treatment, columns or piers, steps, or full/partial facades.
- House styles shall reflect a diverse theme with unity, imbued with a sense of tradition. The “Craftsman”, “Colonial Tradition”, “Classical” and “Bungalow” styles may all be incorporated.
- Building design shall be harmonious with the character of adjacent buildings through form, scale, color, materials, and proportions.
- Exterior colors are to be aesthetically pleasing in appearance. The color motif in general will be earth tones and soft pastels in warm hues. Acceptable colors include creams, tans, browns, greens, soft blues, beiges and grays. Garish reds, bold yellows and strong blues are unacceptable colors.
- Unit size will be appropriately scaled to fit lot size for all homes with minimum and maximum sizes specified.
- No house shall be sited on a corner lot at an angle at any major intersection. Corner lot sitings at secondary intersections, may be angled if consistent with good land planning. No two adjacent, diagonal, or opposite buildings may be of the same house type or similar elevation or similar color scheme. **Use of a variety of building materials or reversing the unit is one technique that may be used to differentiate similar elevations.**

Exterior Wall Guidelines

- Brick, vinyl, natural stone (cultured stone is subject to review and approval), or other various sidings can all be used for exterior walls, subject to other restrictions and architectural review.
- Smooth or handmade finish brick in common, English, or Flemish bond patterns with a raked mortar joint is preferred.
- Material palettes shall be based on traditions in the mid-Atlantic and the Southeast.
- The exterior color palette must be in accordance with approved development plans or site plans. Color changes or elevation changes require a separate approval. The builder will submit a standard color package along with elevations and house types for approval on a section by section basis.
- All siding, whether wood, composites, vinyl or composition, must have a minimum six-inch (6") lap or course. Twin four-inch (4") siding and twin five-inch (5") are not acceptable.
- Areaways and wingwall materials should be consistent with the architecture and should be screened with landscaping.
- House numbers should be polished brass or black, and of a proportionate size relative to the entrance.
- Using either quoins or shutters as architectural relief, or contrasting brick color in the one-and-a-half brick and brick jack arches where applicable.

Exterior Wall Guidelines Specific to Single Family Homes

- For single family homes with brick or stone front exterior, front elevations should feature at least a 12" return on the visible side elevation.

Exterior Wall Guidelines Specific to Townhomes

- Any townhome end unit that sides a public or private street is required to have brick water table with 12" Returns and round louvres.
- Side entry products on end townhouse units are encouraged.

Foundations

- Raised slab with brick, stone, or brick form painted to match predominant siding material to first floor level on front elevation.

Floor to Ceiling Height

- First floor to be 9'-0". Second floor to be a minimum of 8'-0".

Columns

- Front side columns on porches or porticos shall be a minimum of 6" in a diameter for round columns or 6" square for box columns with mouldings at top and bottom.
- All columns should have appropriate capitol and base details.



Doors

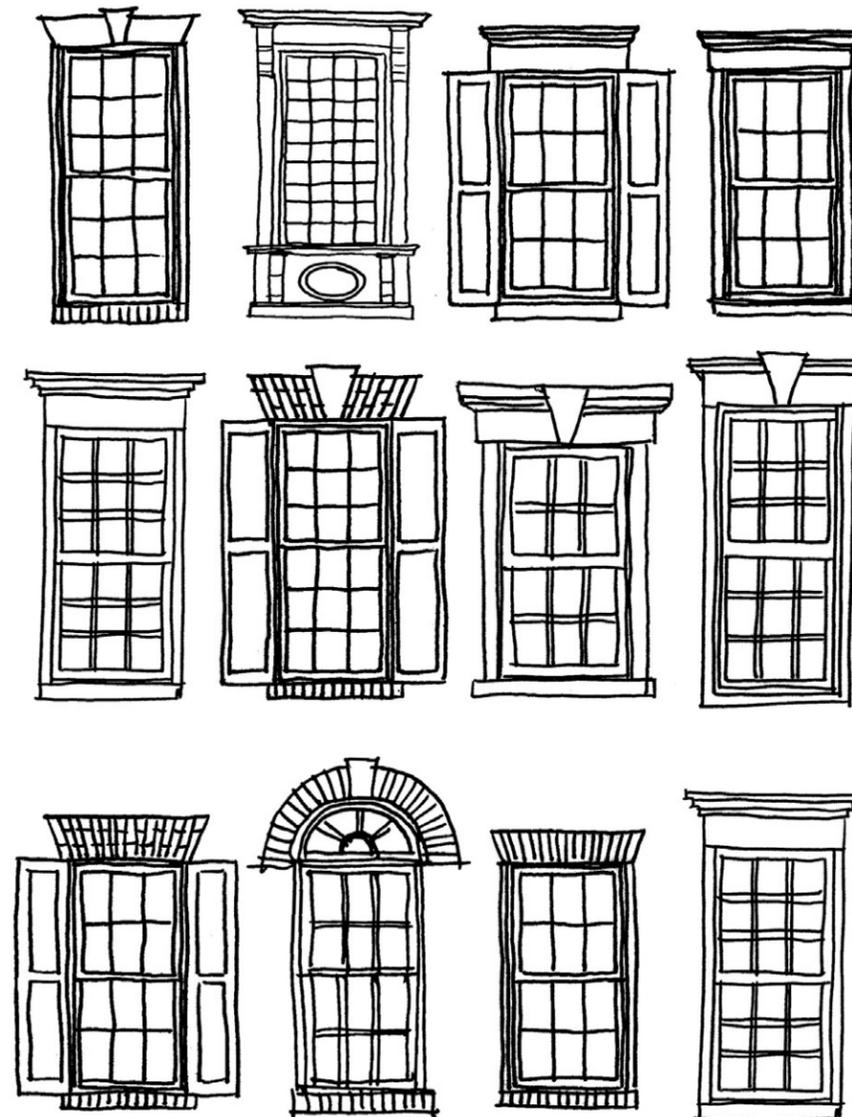
- Front entrance doors should be constructed of a point grade fiberglass.
- Mullions should be used when consistent with the architecture and their grid patterns should remain uniform throughout the facade.
- Main entrances should feature porticos, recessed entries, or strong architectural details.

Windows and Shutters

- Mullions should be used when consistent with the architecture and their grid patterns should remain uniform throughout the facade.
- Windows, including those with high-energy glass, should be non-reflective.
- Front elevations without brick require either a minimum of 1" x 4" trim or appropriate sized shutters.
- Provide foundation for Bay windows on the 1st floor for all fronts and visible sides.
- Where windows are not contemplated on a specific side; it is highly recommended that architectural features mimic elements such as false windows, louvers, band courses, jogs in buildings facades or closed gabled roofs be installed to give interest to that specific side and to break up the appearance of the siding or masonry when visible from the street. An appropriate landscape treatment can also be successful.
- Single hung windows with the first floor windows being equal to or taller than the second floor.
- Shutters must be in proportion to the windows. Panel or louvered shutters mounted to appear operable. The use of shutter dogs or window planting boxes is highly encouraged.

Window Openings

- Vertically oriented window pattern both with and without shutters.



Windows

- Front windows should have a minimum of 1" x 4" trim or shutters.
- True divided, or simulated divided, windows.
- Generally a 6 over 6 mullion pattern on a 6'-0" high lower floor window with a 6 over 6 mullion pattern on 5'-0" second floor windows.
- Siding elevation head features to be made of wood, or synthetic wood, with flat head features.
- Brick window head features either brick flat jack arches with precast keystones, or precast jack arches and panels.
- Dormer windows are generally gabled or with pediments
- Window head features to have pediments, arched tops, or flat heads, where appropriate.
- Shutter dogs with shutter stays are strongly encouraged.
- All bay windows located on front or side elevations must have a foundation unless positioned behind a porch.

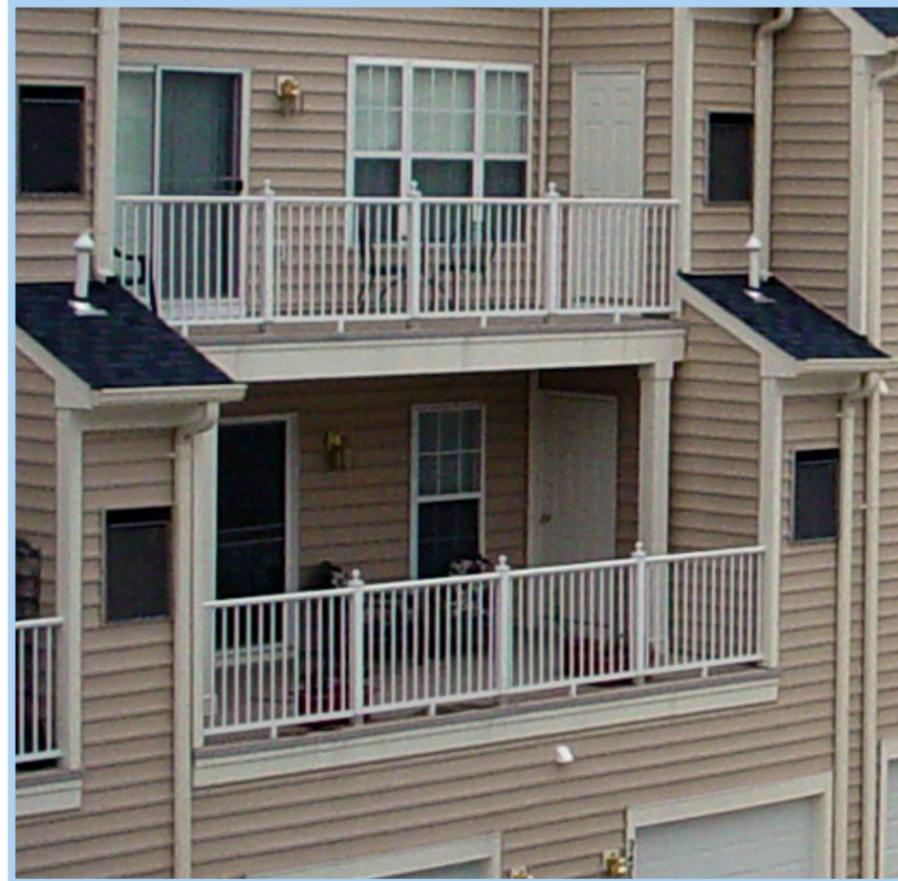


Roofing

- All front roof elevations must have at least a 6/12 pitch or greater, unless an exception is granted. Porch roofs may be of lesser pitch, as appropriate to the architecture.
- Roof materials must be heavily textured fiberglass or asphalt shingles. Standing seam metal roofs may be permitted if consistent with the architecture.
- Roofing materials on attached residential buildings are to be the same color for all unit types.
- Solar water panels are not permitted unless they are not visible from any street, other properties and are approved by the committee.
- Skylights must be located on backside of roof ridge. Only flat skylights are allowed; bubble skylights are not permitted.
- All flashing, attic ventilators and vents must be painted black or match the roof and should be placed on the rear ridge when possible.
- Gutters and downspouts should be integrated into the architectural design in color, shape and location.

Acceptable Roofing Material:

Asphalt or fiberglass
Slate
Metal painted standing seam metal roof on porch roofs, porticos, and bays only



Decks

- Decks are permitted only in rear or side yards for certain lots only.
- Decks should be designed to create an intimate residential scale with unit identity. Continuous strips of decks are discouraged. Privacy screens may be used for creating privacy if consistent with the architectural style and does not obstruct views.
- Decks and wing walls should be an integral part of the design and should not appear as separate or add-on elements. Decks shall be complementary to the structure's design.
- Decks shall be constructed of wood or synthetic wood, such as Treks Plastic Composite.
- Untreated decks are not acceptable per Design Guidelines.
- Deck posts must be constructed of 6x6 material or cased to appear 6x6.

Patios

- Patios should be designed to create an intimate residential scale with unit identity. Privacy screens may be used for creating privacy if consistent with the architectural style.
- Patios and wing walls should be an integral part of the design and should not appear as separate or add-on elements.
- Approved materials for patios: brick or brick pavers, slate, flagstone, or concrete.
- Patio screening should not appear as a separate or added-on element but should be integrated with the architectural design.



Porches and Stoops

- Defined as an element from the first floor.
- Stoops and steps shall be brick, concrete, wood or stone, material may match or coincide with foundation.
- Foundations of wood porches to have brick or stone.
- On Single Family Detached homes where front porches are predominant, white wood railings are acceptable, as are pickets that match the trim of the house.

Garages

- Two-car garages with separate doors for each garage are encouraged for front load garage situations where lot size permits. One-car garages may be considered on a case by case basis if they are appropriate to the design character and scale of the house.
- Garage door styles should be consistent within a section. Doors with panels are required.
- Garage door(s) on the front of houses may include windows. Garage doors located on alleys shall not include windows.
- Every garage door must have at least one photo voltaic light fixture. For two-car garages with separate doors to each garage, one light fixture must be provided in the middle. For two-car garages with one door, two lights must be provided on either side of the door.
- Light fixtures shall be determined by the builder, but should be consistent per builder for each house type.
- Street-side garages on rear load units must be treated similarly to house.





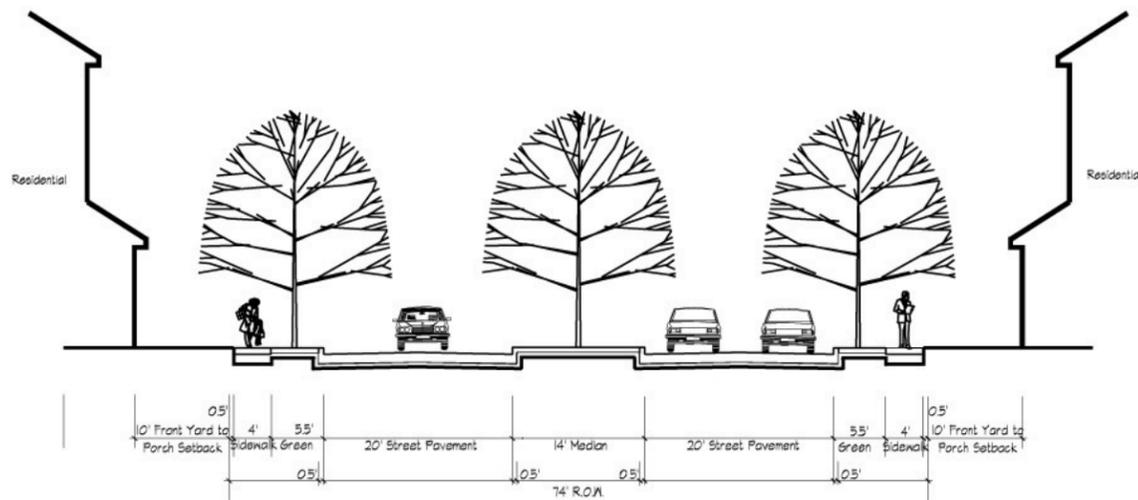
Typical residential streets with parking available on both sides of the travelway.



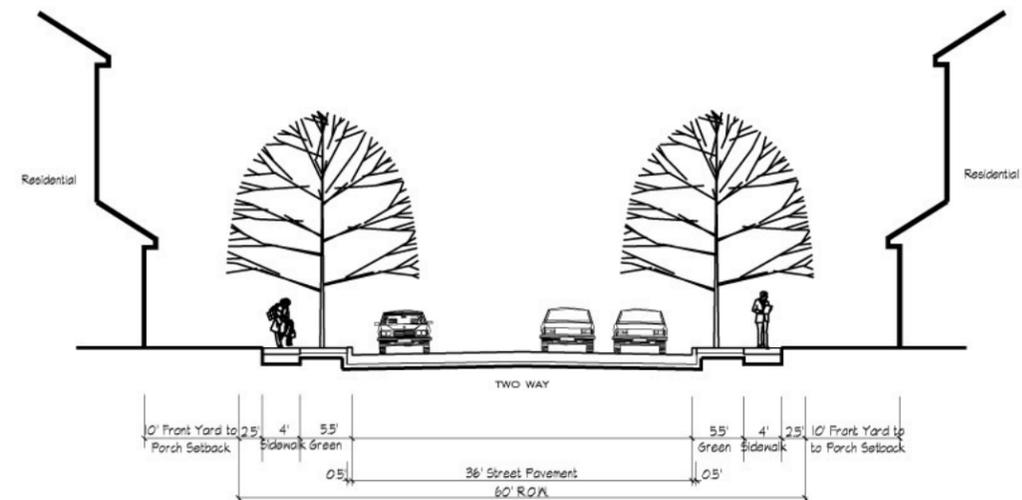
■ ■ ■ A network of moderately-scaled streets will interconnect the neighborhoods to accommodate both pedestrians and vehicles. All streets within New Port except for Phase 3 and potentially the section adjacent to Bide-A-Wee Golf Course, south of Greenwood Drive (Phase 1) will be public. All alleys will be private, and along with private streets, will be maintained by homeowners association.

The actual street design and widths will be predicated upon requirements for internal collectors or minor streets, as described in Section 33-17(a) of the City of Portsmouth Subdivision Ordinance. It is our intention that on-street parking will occur on both sides of the street. Additionally, we will seek to add some on-street guest parking for housing units fronting Greenwood Drive and McLean Street. There is adequate right-of-way present to accommodate vehicular circulation and parallel parking. The detailed design of these streets, both public and private, will be developed during the construction/site plan process.

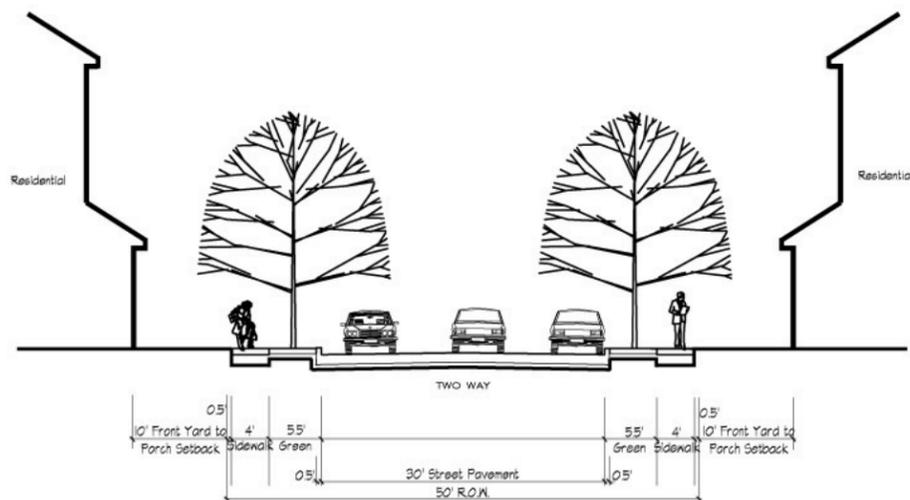
The alleys for the most part will be 20' in width (including gutters) with some exceptions within Phase 1 and 2. The exception will be a reduction to 12' in some locations to accommodate a lack of lot depth due to existing property configuration or where an alley is serving just several lots. The locations that we have identified have adequate public street frontage to accommodate public safety and maintenance vehicles.



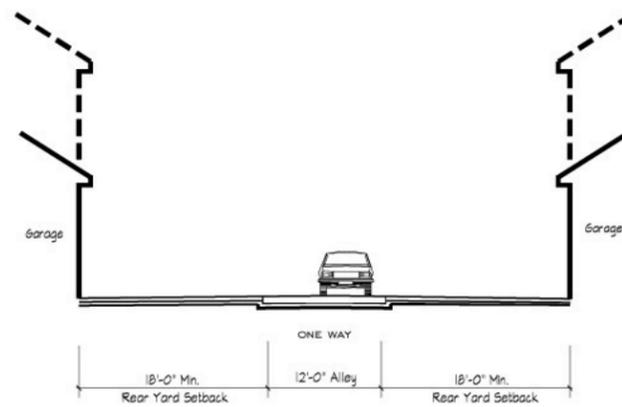
STREET SECTION A
DIVIDED RESIDENTIAL STREET



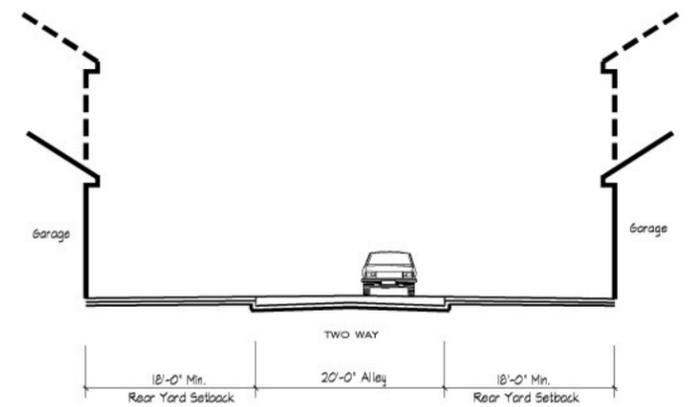
STREET SECTION B
INTERNAL RESIDENTIAL COLLECTOR



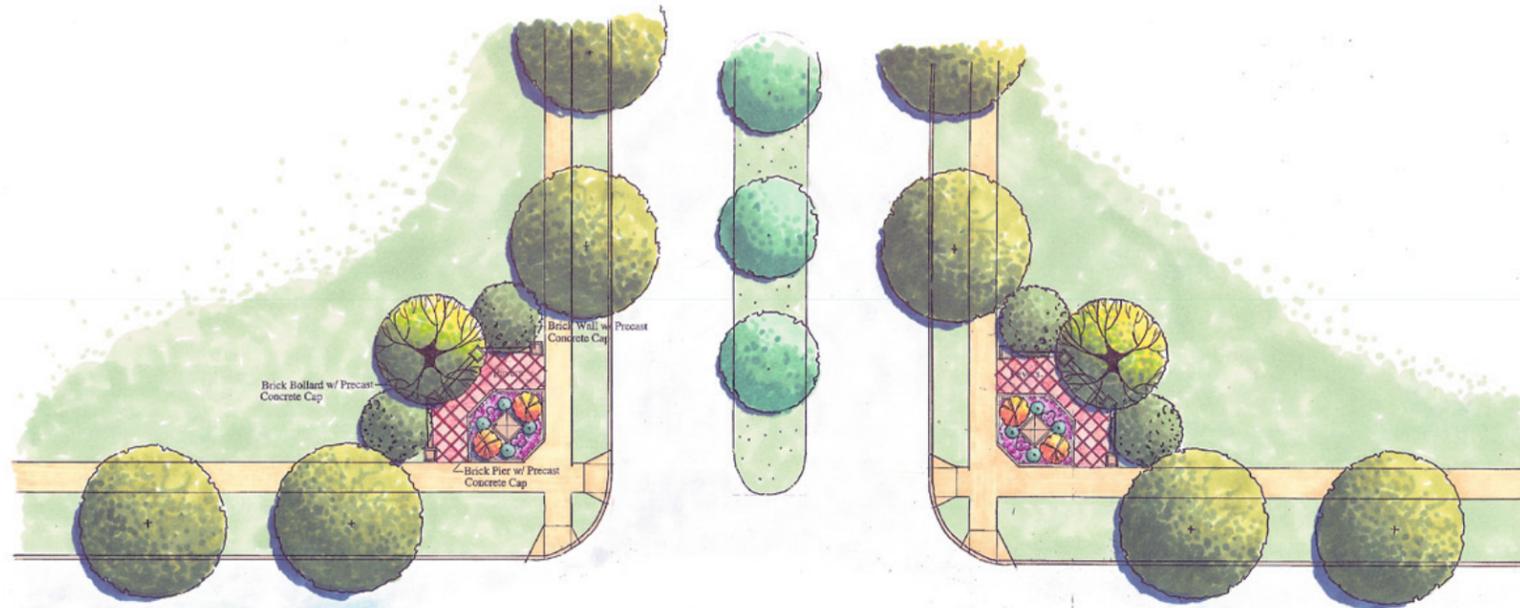
STREET SECTION C
INTERNAL RESIDENTIAL STREET



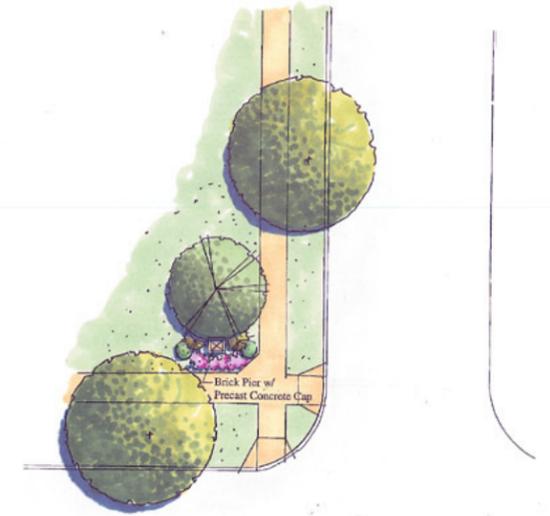
STREET SECTION D
ALLEY



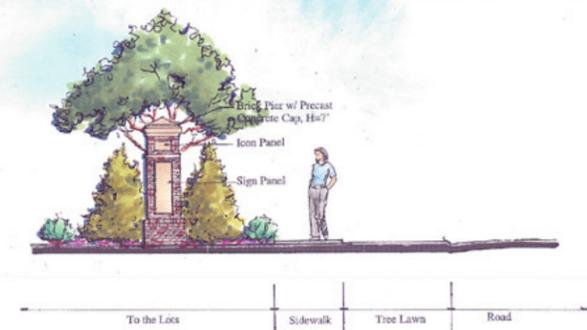
STREET SECTION E
ALLEY

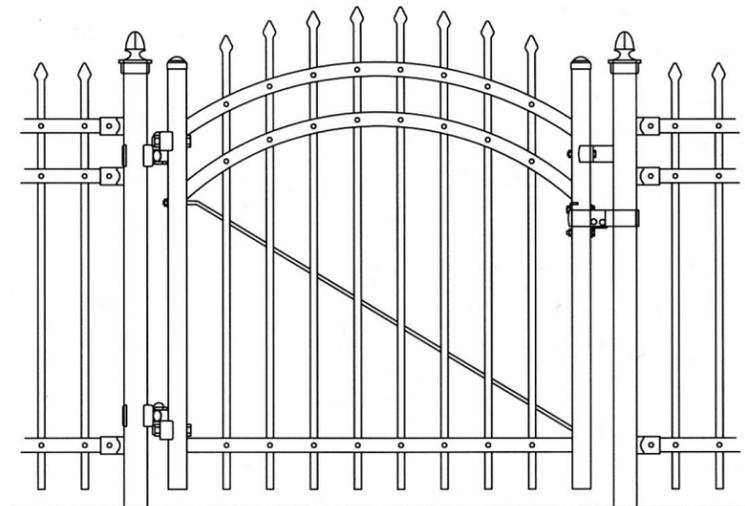


Primary Entry Feature Layout
Scale: 1"=10'-0"

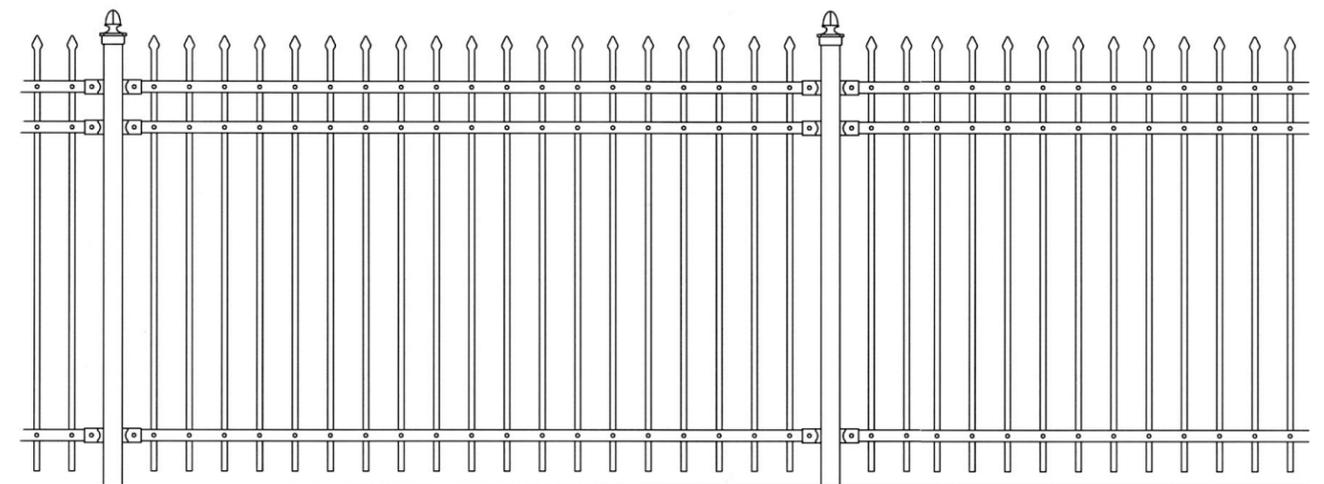
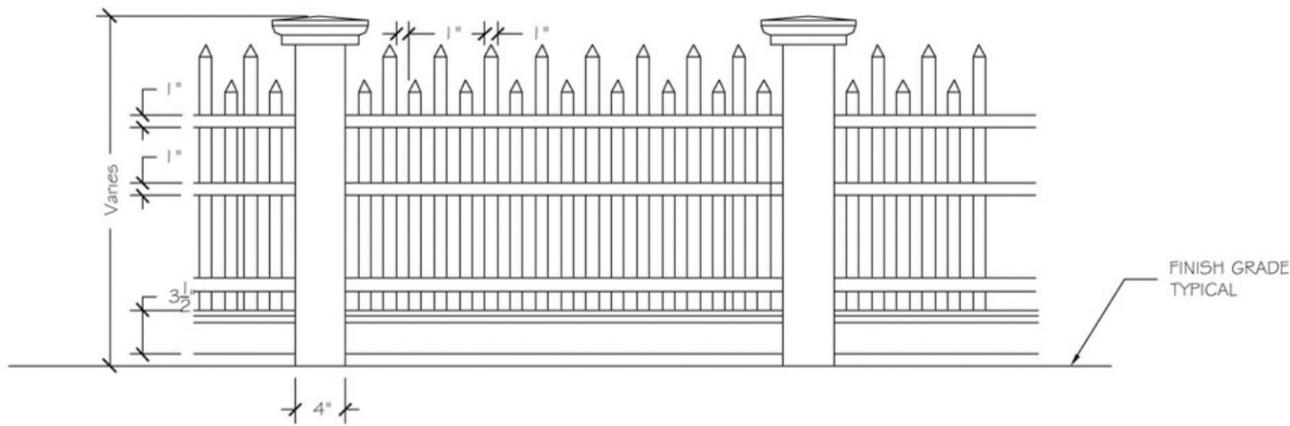


Secondary Entry Feature Layout
Scale: 1"=10'-0"





■ ■ ■ The size and type of fencing will be broken into two categories: neighborhood boundary and individual privacy. The neighborhood boundary fencing, in areas adjacent to Glendale, Highland Biltmore, and Bide-A-Wee Manor, will utilize 6' high solid, board privacy fence. Neighborhood boundary fencing adjacent to Bide-A-Wee Golf Course will utilize a 4' high ornamental rail (aluminum) fencing for the perimeter boundary. Individual privacy fencing will either define small courtyards or back yards. These fences will be 5' high solid board privacy fences with wood cap. If within multi-family areas there is a need to eliminate or reduce cut-through pedestrian traffic between housing units, a 4' high wood picket fence can be provided towards the front connecting rows of units, but the fence must be set back a minimum of 5' from the front building facades. Chain link, vinyl coated wire, stockade, and split rail fences are prohibited. All fencing will be reviewed and approved by the Architectural Review Board for conformance to material and color.

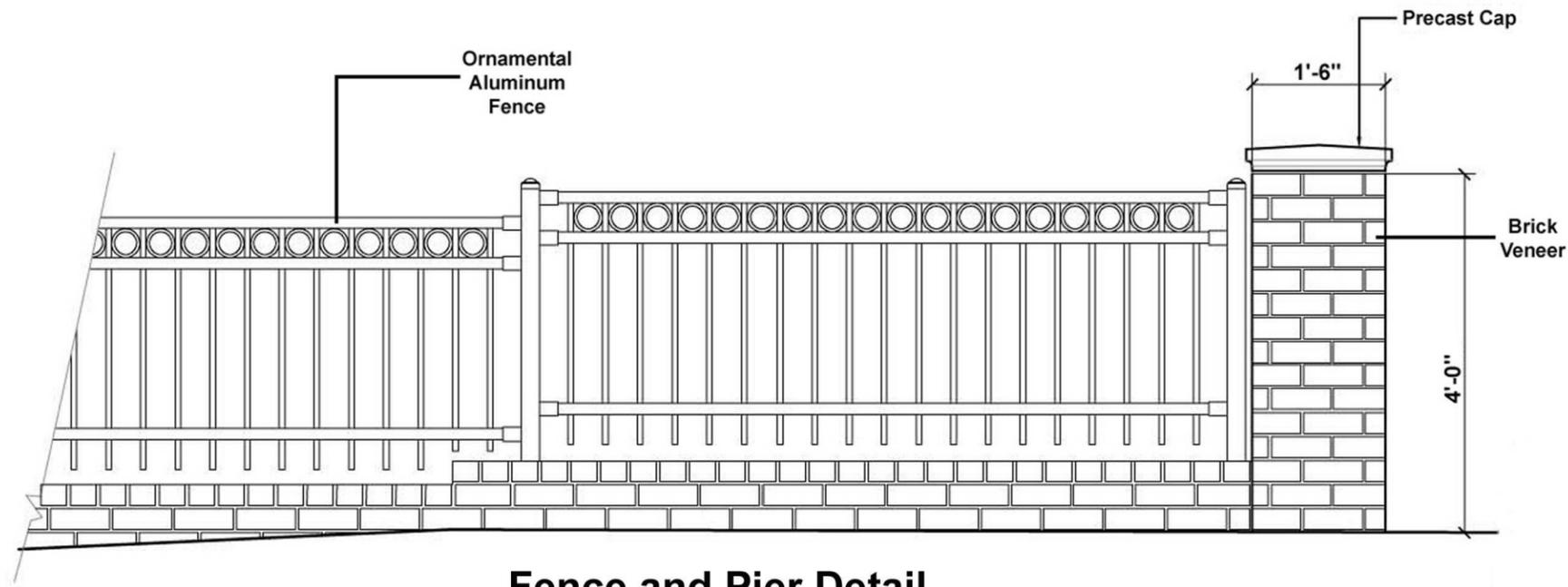




Fence and Pier Illustrative Elevation

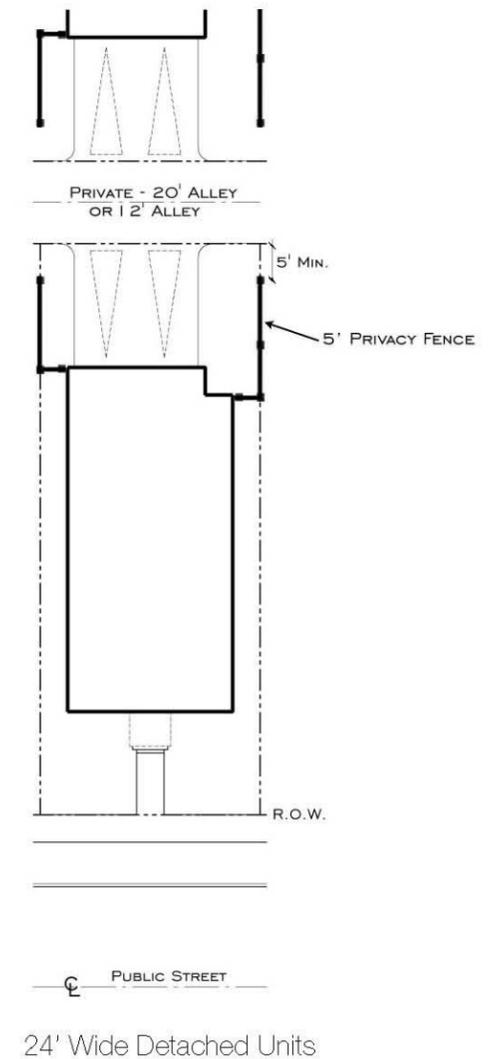
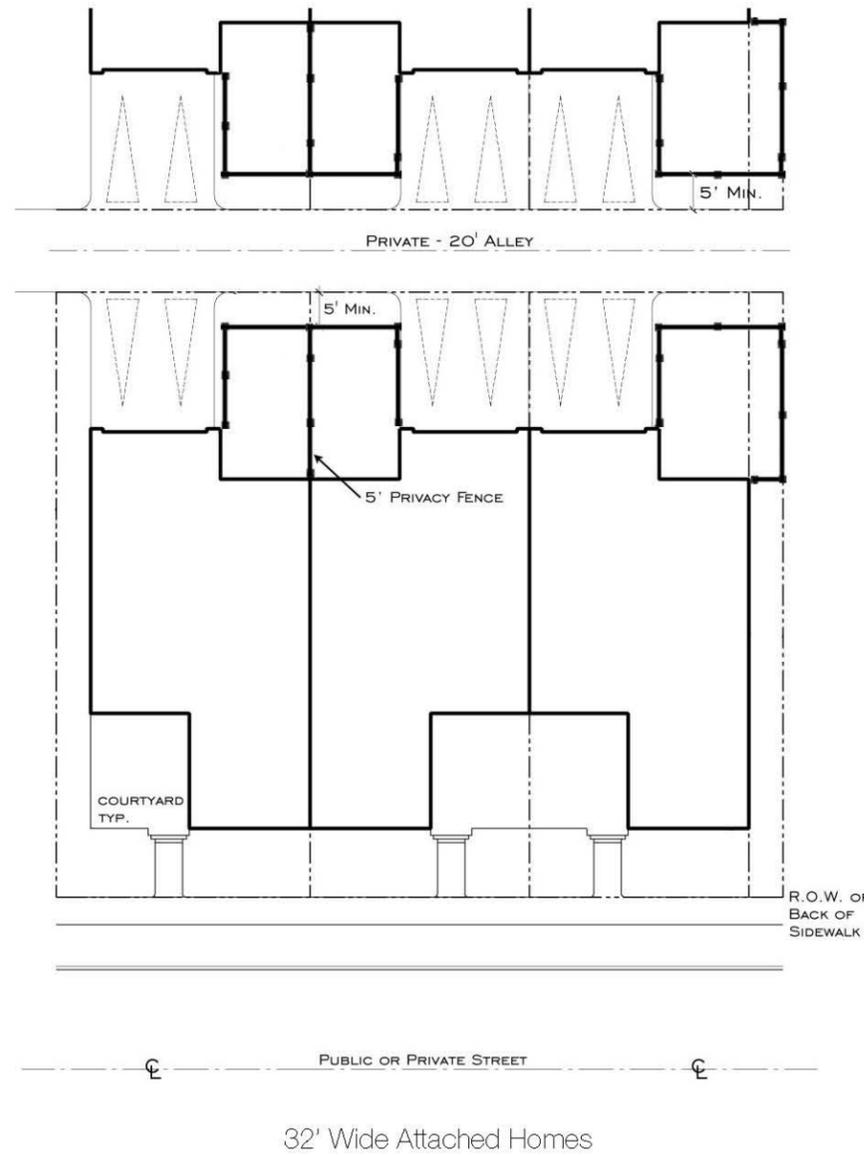
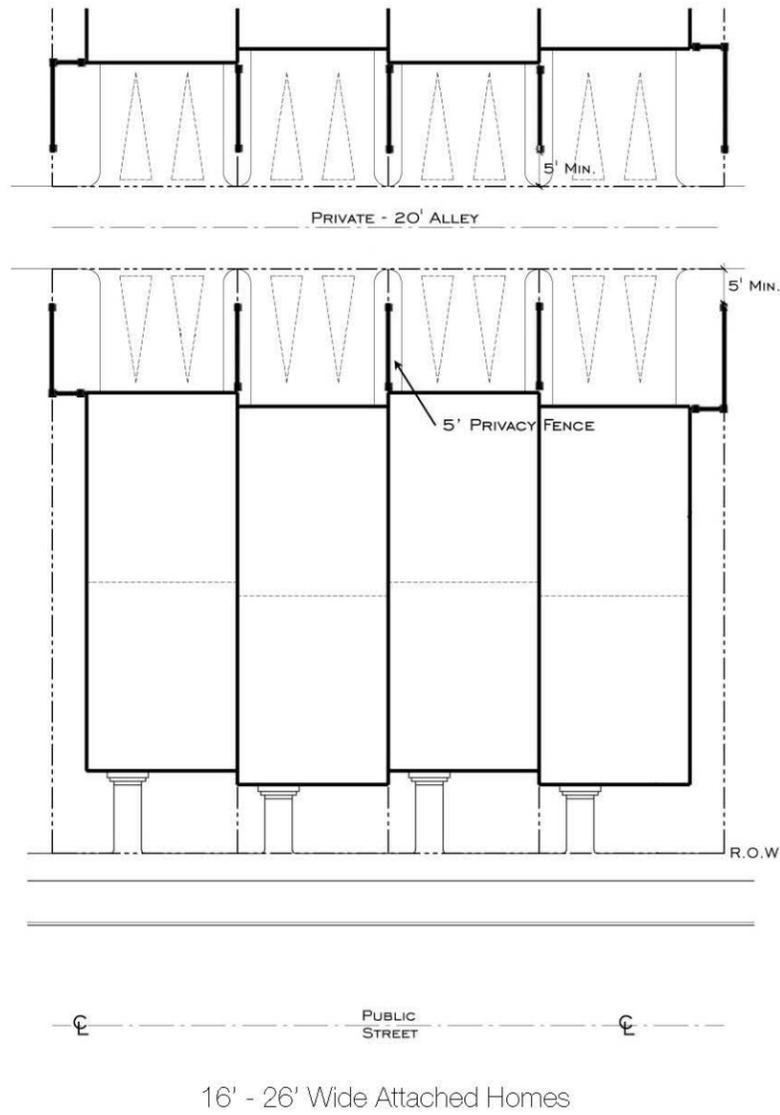
Border Streetscape Fence

- Border streetscape fence will be utilized along the northern and southern right of way lines of Greenwood Drive and the eastern right of way line of McLean Street adjacent to New Port. The Developer may utilize the border streetscape fence along Cavalier Drive, at their discretion. The border streetscape fence may also be utilized on Greenwood Drive adjacent to Bide-A-Wee Golf Course and Highland Biltmore Elementary School with the approval of the Planning Department.
- The border streetscape fence will be built in sections. To insure that the footings integrate properly, the rebar left exposed for future connection shall be carbon fiber rebar.



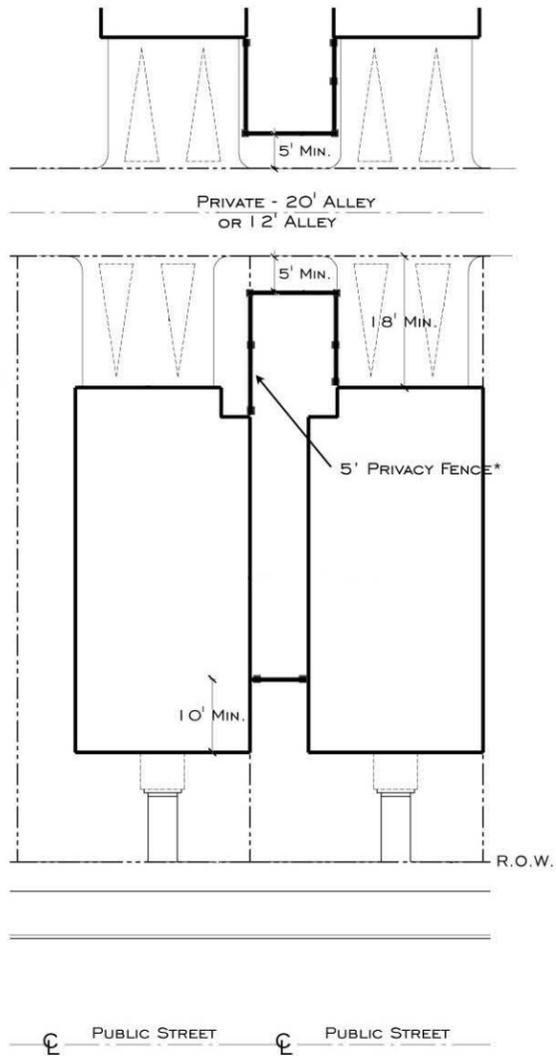
Fence and Pier Detail





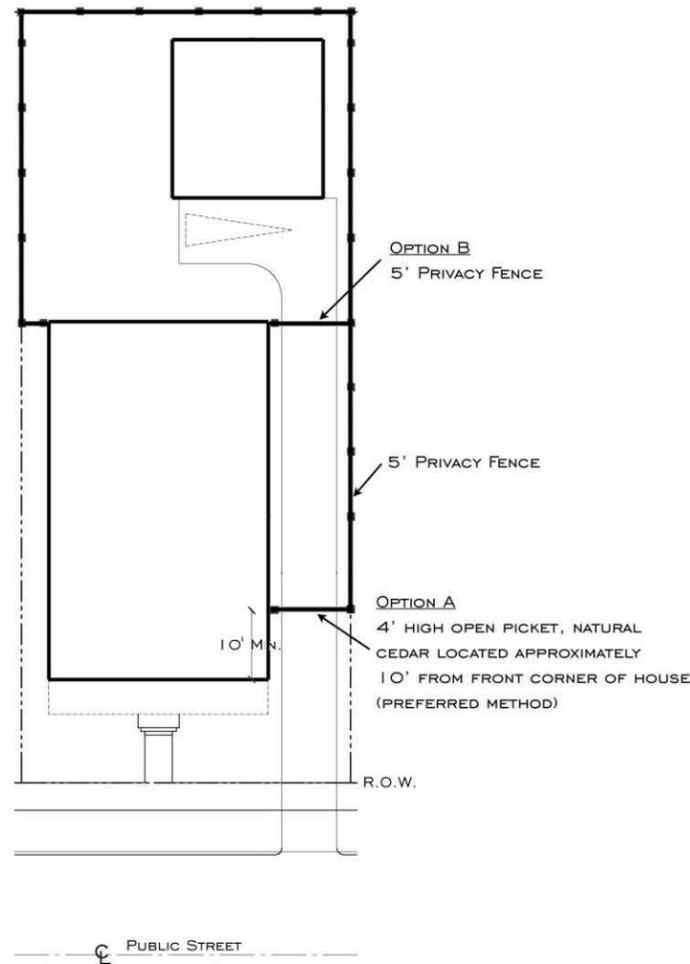
- Landscaping shall be placed in front of all fences adjacent to a public or private street.
- A rear gate is permitted if the fence does not share a property line with an adjacent property.
- Fencing is not allowed on any property line if, by its installation, it reduces the distance between the fence and any part of the unit (including fireplace) to less than 4 feet.



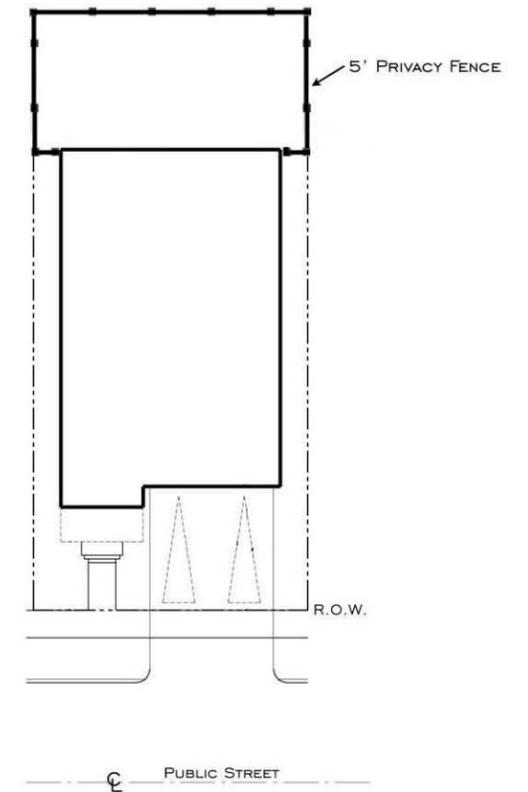


Zero Lot Line Units

*Full enclosure is not required. A fence may be provided along the common property line for separation only, if desired.



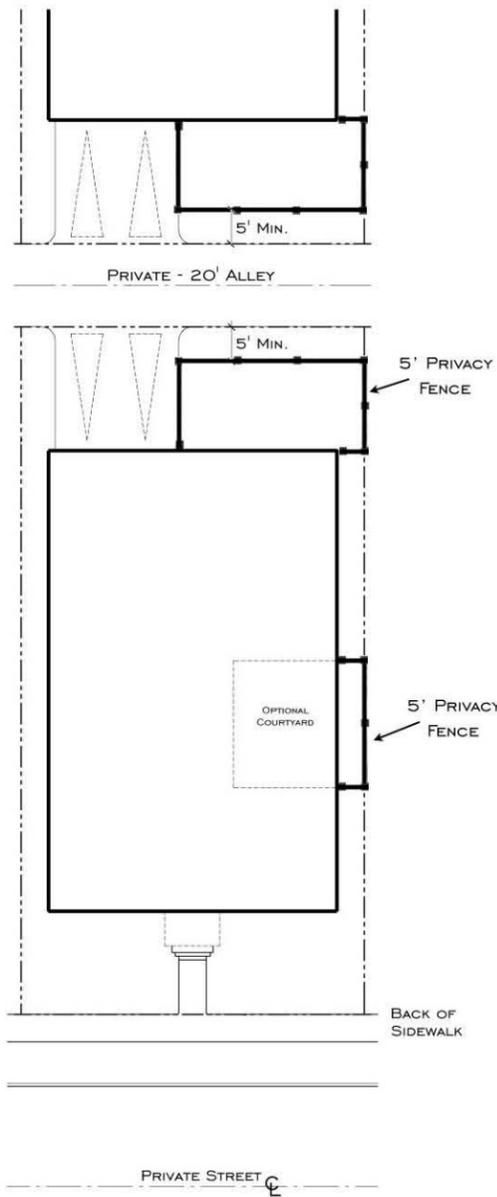
Single Family Detached Units with Rear Detached Garage



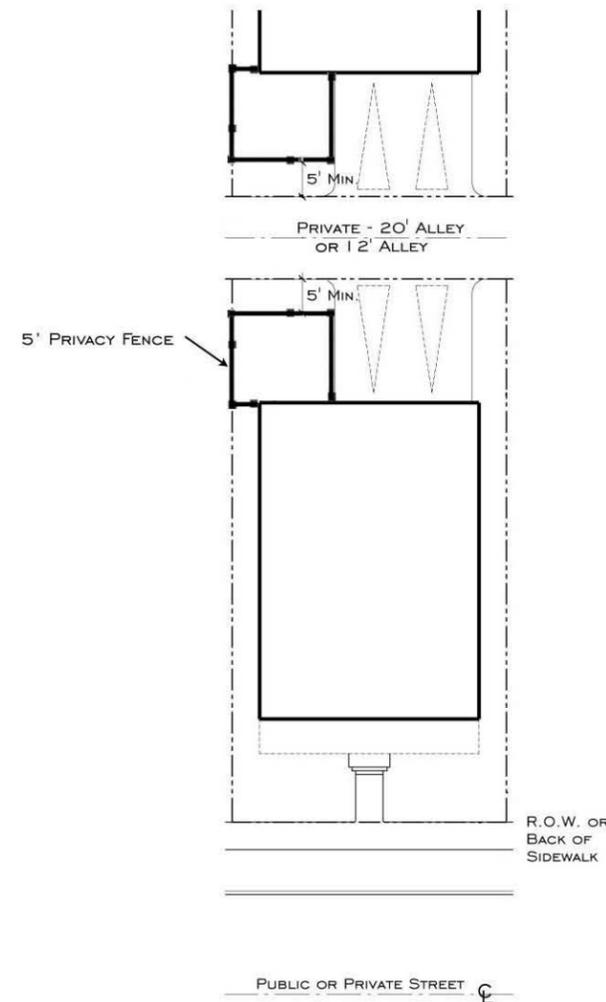
Single Family Detached Units with Integrated Front Loading Garage

- Landscaping shall be placed in front of all fences adjacent to a public or private street.
- A rear gate is permitted if the fence does not share a property line with an adjacent property.
- Fencing is not allowed on any property line if, by its installation, it reduces the distance between the fence and any part of the unit (including fireplace) to less than 4 feet.

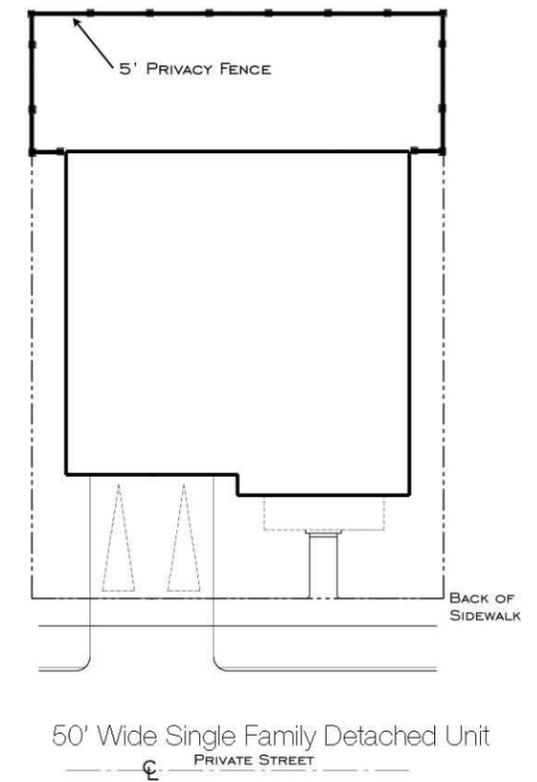




42' Wide Single Family Detached Unit



32' Wide Single Family Detached Unit with Rear Load Garage



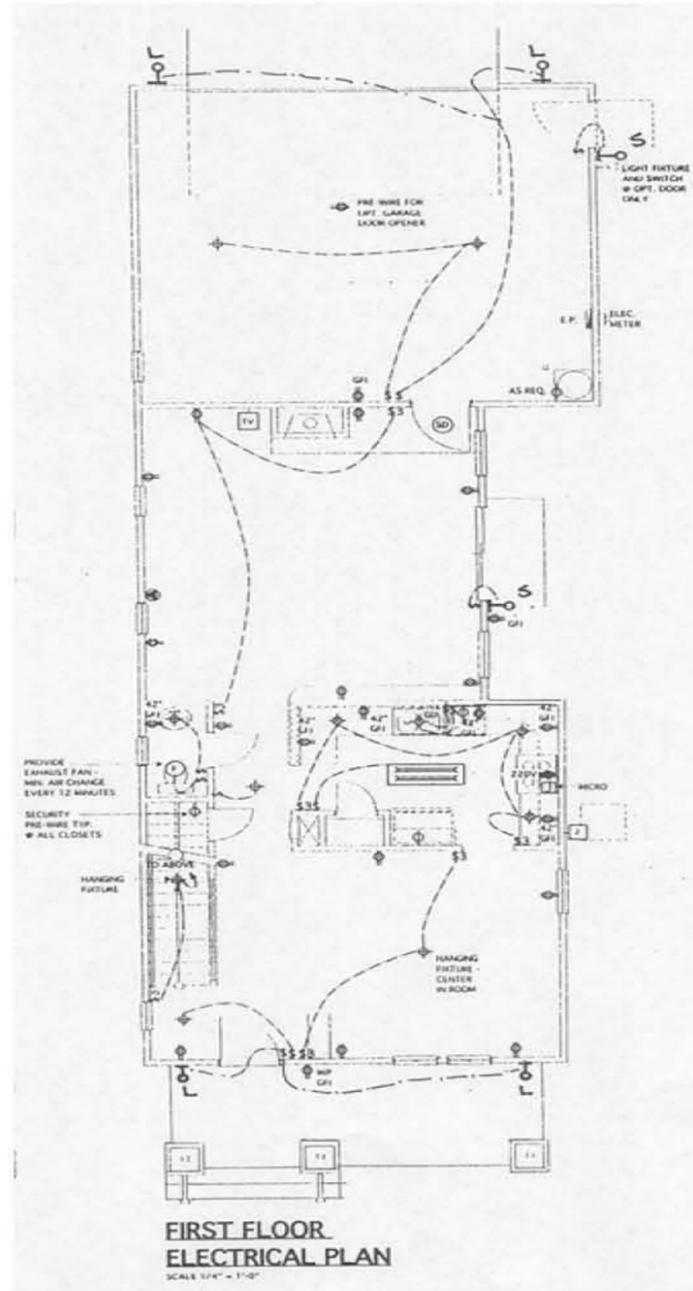
50' Wide Single Family Detached Unit

- Landscaping shall be placed in front of all fences adjacent to a public or private street.
- A rear gate is permitted if the fence does not share a property line with an adjacent property.
- Fencing is not allowed on any property line if, by its installation, it reduces the distance between the fence and any part of the unit (including fireplace) to less than 4 feet.

Golf course lot fencing shall be 4' high ornamental fencing only.
 Interior lots may be ornamental aluminum fencing or open picket - 4' high.



CRAFTSMAN

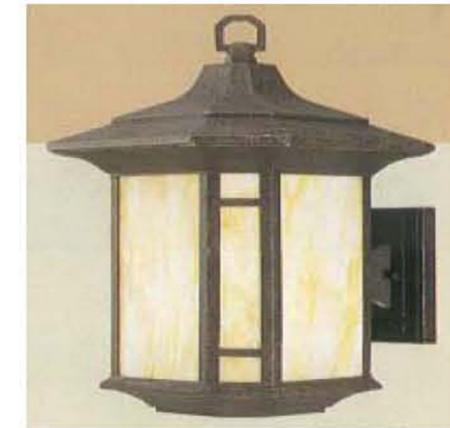


L = Large
S = Small



NEWPORT

FIXTURE 1 - Large



Front/Garage Door
10" W, 15 1/4" ht.

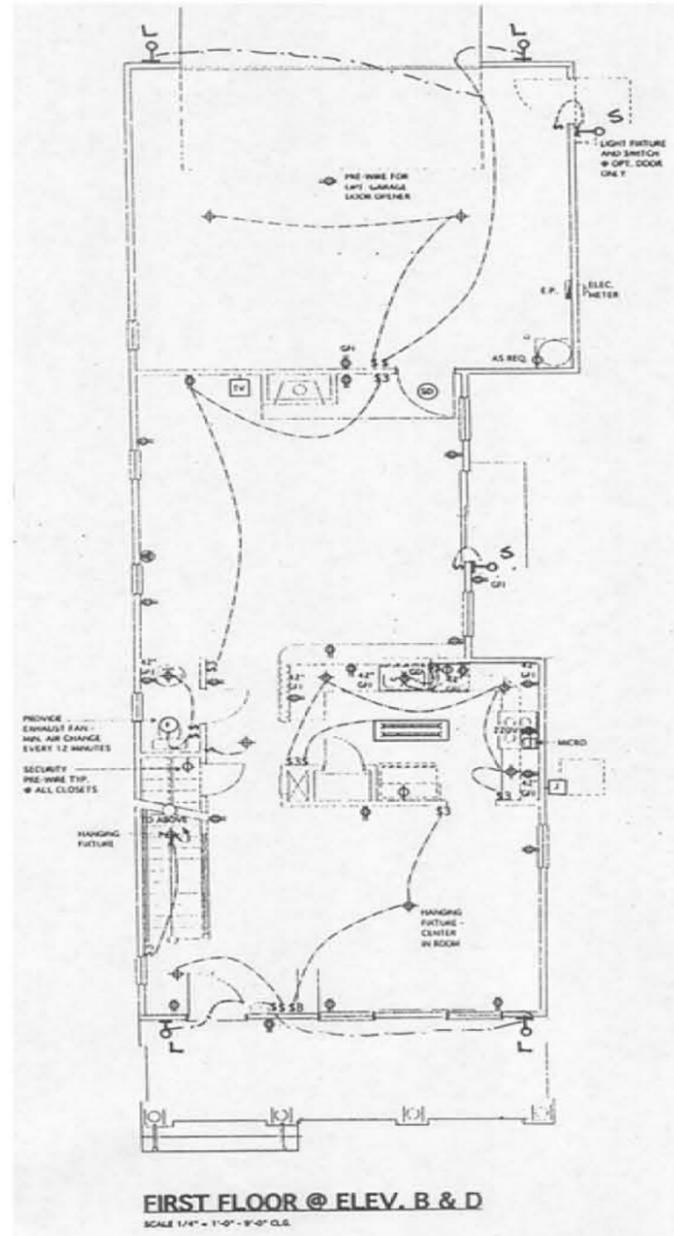
FIXTURE 2 - Small



Side/Rear Door
6 5/8" W, 10 1/2" ht.

EXTERIOR LIGHTING FIXTURES

COLONIAL REVIVAL



L = Large
S = Small



NEWPORT

FIXTURE 3 - Large



Front/Garage Door
8 5/8" W, 17 1/4" ht.

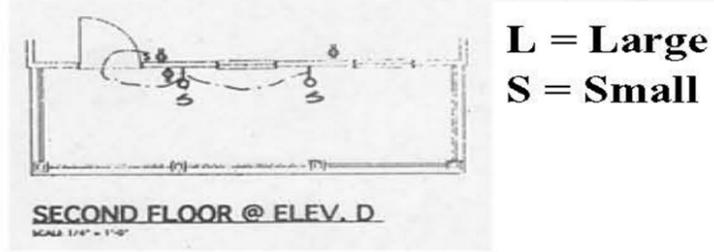
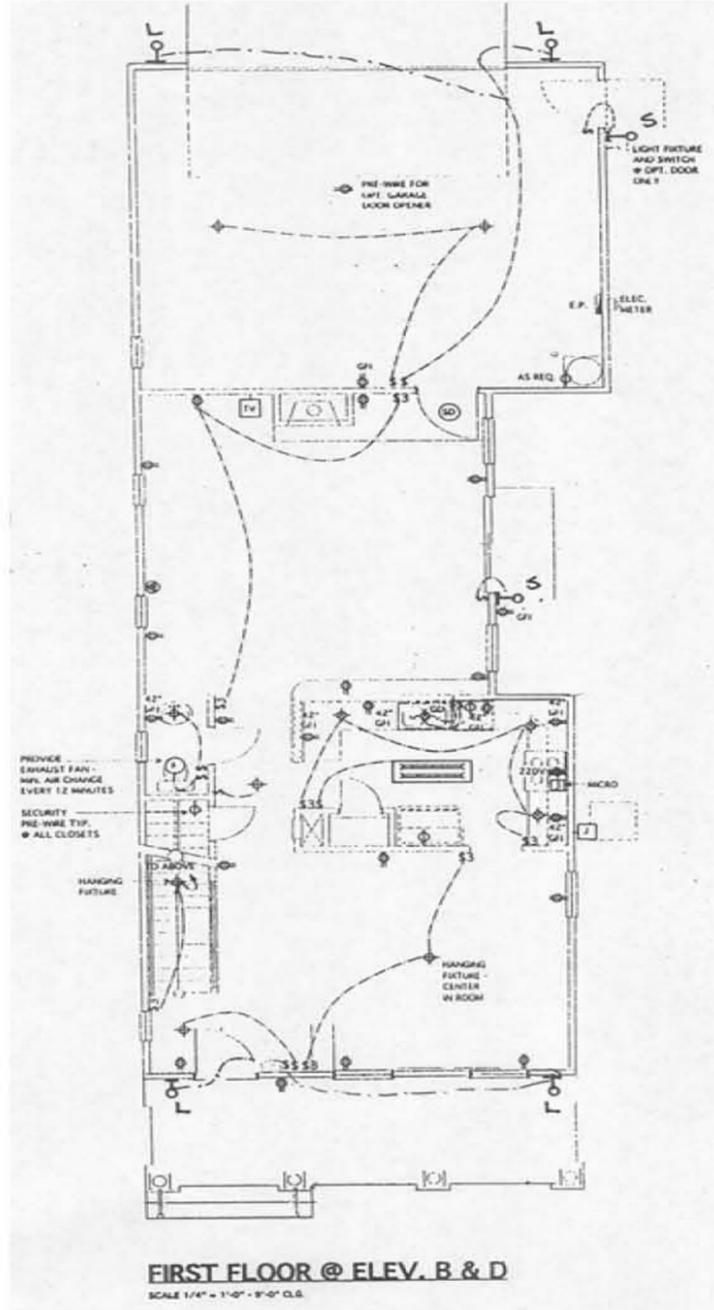
FIXTURE 4 - Small



Side/Rear Door
8 1/2" W, 14 1/2" ht.

EXTERIOR LIGHTING FIXTURES

GREEK REVIVAL



NEW PORT

FIXTURE 5 - Large



Front/Garage Door
10" W, 15 1/4" ht.

FIXTURE 6 - Small



Side/Rear Door
6 5/8" W, 10 1/2" ht.

EXTERIOR LIGHTING FIXTURES

Landscape

The significance of landscaping in a residential community can not be overstated. The desired imagery associated with tree lined streets and well-landscaped residences. As with all new communities, achieving that desired state is highly dependent on an initial commitment to insure an adequate landscape infrastructure is in place.

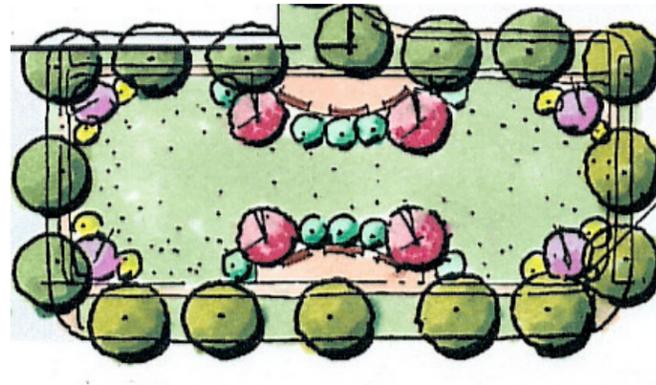
The Development Guidelines will designate general landscape requirements. The following is an overview that speaks to the inherent benefits associated with the inclusion of adequate landscape materials in a residential environment. While the aesthetic aspect of such landscaping is self evident, the functional role of adequate planting, including the opportunity for screening and buffering views, climate control, noise abatement and pollution and erosion control are equally important.

The street is a major design determinant of any new development. It is more than a traffic corridor. It functions as a front yard and a major organizing element for the neighborhood. A successful street tree planting program, reinforces the overall community organization and introduces a vertical element to offset the perceived horizontal dominance of the street. Such a planting program will reinforce the delineation of the street edge and soften the architectural elements along the street, and augment public spaces.

The finish and extent of landscaping associated with each individual home is equally important in conveying the image and sense of a quality community. Opportunities to transition from the streetscape to the residential yard should be maximized. The interaction of contrast and color, as well as selective screening to insure privacy, can be achieved with shrub foundation plantings.

Plant Material Size Specifications

1. Hardwood Trees (Street Trees)
2" - 2 1/2" minimum caliper
2. Flowering Trees (Yard Trees)
2" - 2 1/2" minimum caliper
3. Upright Evergreen Shrubs
2' - 3' minimum height
4. Spreading Evergreen and Deciduous Shrubs
15' - 18' minimum spread
5. Broadleaf Evergreen and Deciduous Shrubs (Background)
18" - 24" minimum height



Residential Foundation and Screen Plantings Include:

Simple plantings with a limited variety of plant materials should be used to create a well-integrated landscape.

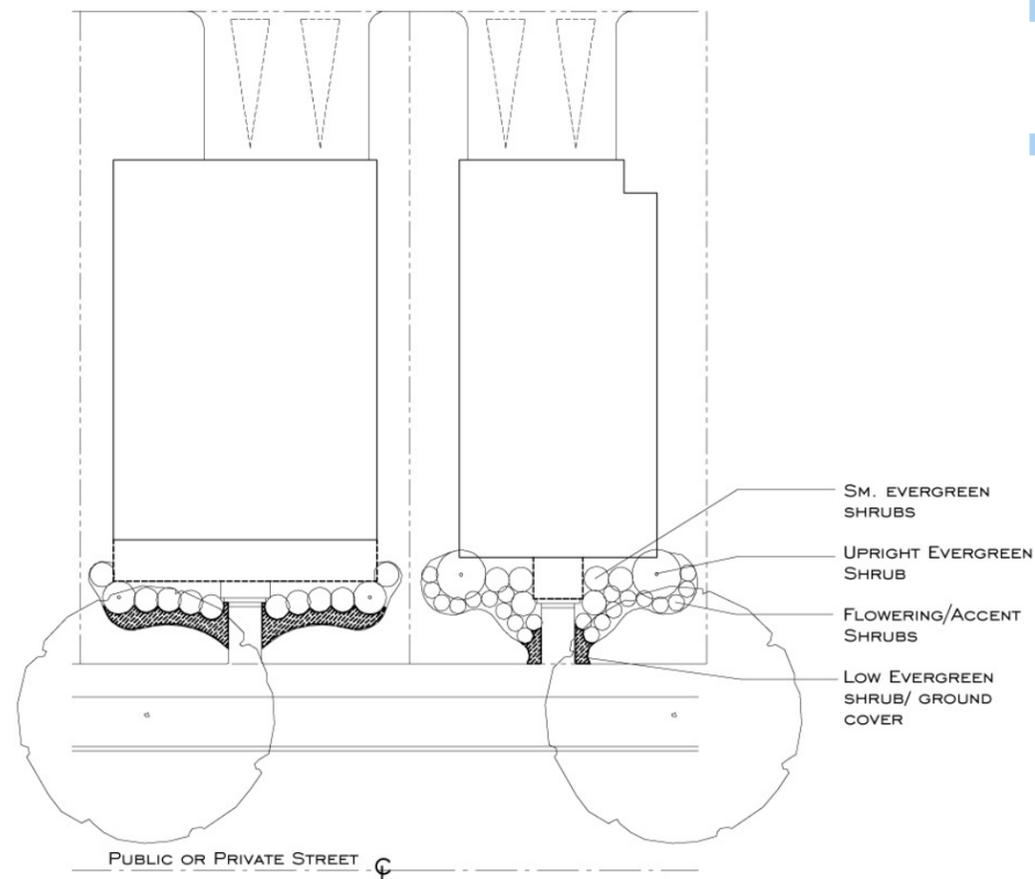
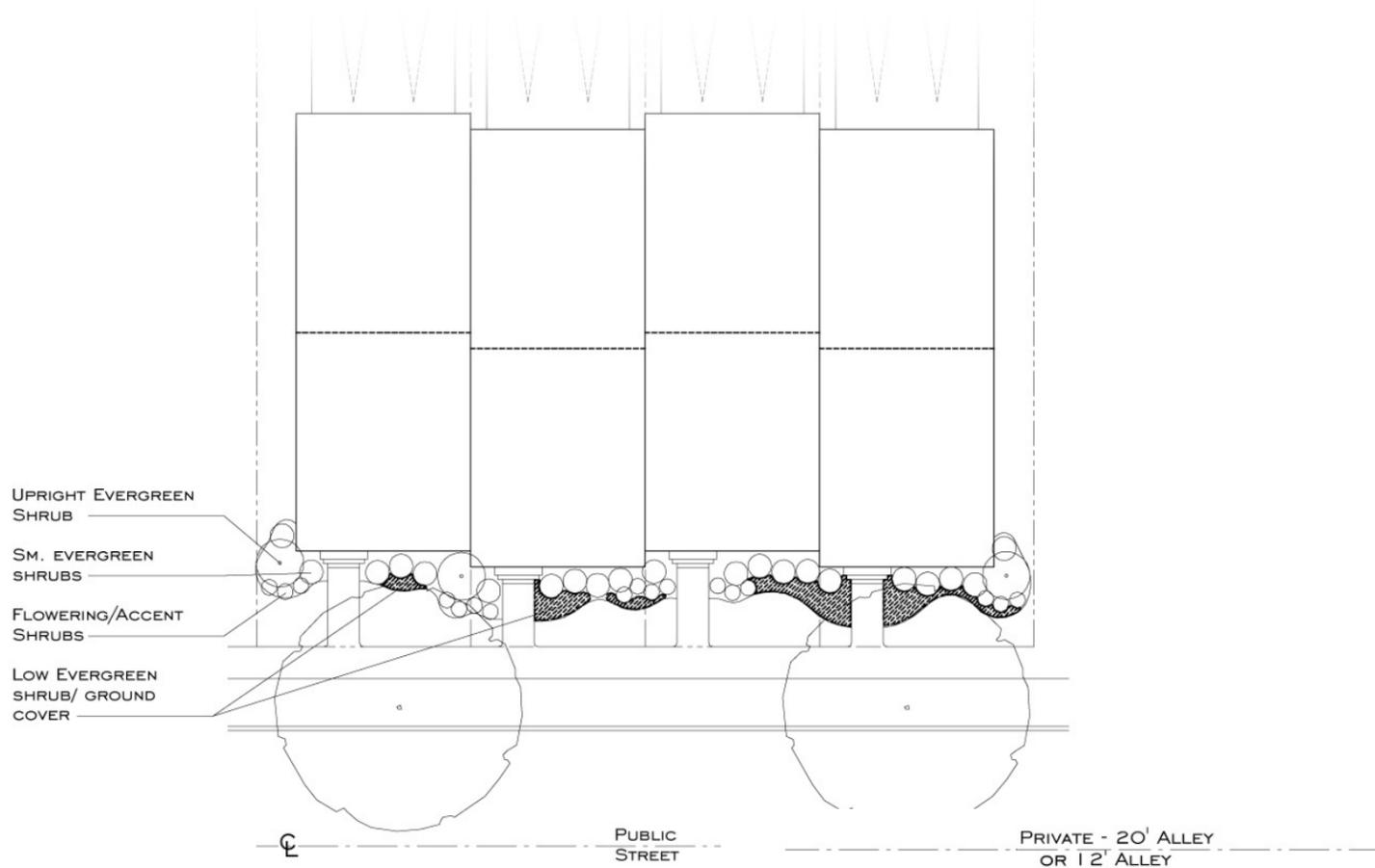
Plant materials should be chosen based on the relationship of ultimate height and width with regard to the space in which they are planted. Layering of plant materials is encouraged. Taller plants should be placed behind lower plants.

Medium to low evergreen shrubs will be utilized as background material adjacent to skirting and foundations, with low flowering shrubs or ornamentals being planted in front to provide color, interest, and contrast. Care must be taken to select material that is maintainable (dwarf, slow-growing), and is hardy to our particular growing region/hardiness zone.

Shrubs should be used to complement architectural features and not obstruct views from windows.

Shrubs should be planted in mulch beds a minimum of three feet from base of building foundations.

Evergreen shrubs should be placed to soften privacy fencing exposed to the street.



Street Tree Planting Governing Rules

The following governing rules have been formulated to assure that an adequate street tree-planting program is provided for all residential streets in the community.

- Trees shall be planted in blocks of same species to provide some form of order and unification.
- Trees shall be planted continuously within the street right-of-way and should be of a type which provides a medium canopy at maturity. Trees shall be centered within a 5' planting space between the curb and sidewalk.
- Tree planting around courts should be symmetrically positioned despite physical constraints.
- A minimum of one (1) tree per 50 linear feet of street frontage shall be provided as required to fulfill the aforementioned objectives.
- Street tree plantings shall not impede vehicular sight viewing distances or create any situation, which may pose an unsafe or hazardous condition.
- Corner lots (including lots abutting pipestem drive arrangements) shall make provision for canopy street trees along side street and common drive exposures comparable to required street tree frontage conditions.
- Some typical species include red maple cultivars, scarlet oak, willow oak, norway maple, green mountain sugar maple, greenspire, linden, and green ash cultivars.
- The street trees shall not exceed the medium size designation as described in the Tree Species List, Appendix B, Landscape Planting and Protection Manual for the City of Portsmouth.





A Homeowner's Association (HOA) will be established for New Port. The HOA is a vital element for Newport and will insure that the grounds, common amenities and homes are maintained in a consistent, quality manner. Membership in the HOA will be mandatory for all residents and it will be responsible for, but not limited to, the following:

- Maintenance of all the common area landscaping, monumentation/signage and fencing
- Maintenance of landscaping in front yard and side yard corner lots for all units
- Maintenance of all amenities including clubhouse, pool, playground facilities, and walkways
- Maintenance of all private streets and alleys
- Maintenance of all street trees
- Enforcing rules and regulations applicable to the development via the HOA documents
- Creating an Architectural Review Board to review all changes or addition to units and to enforce the Design Guidelines for New Port.
- Fiscal responsibilities including collection of dues, payment of costs associated with managing and association.

Residential Summary

Product Type	Number of Dwellings
Multi-Family Flats	144
Stacked Townhouses (24' width)	310
Townhouses (16'-20' width)	375
Townhouses (22'-26' width)	93
Townhouses (32' width)	60
Product Type	Number of Dwellings
Single Family (20'-24' width)	401
Single Family (32' width)	172
Single Family (42' width)	32
Single Family (50' width)	41
Total	1628

Building/Product Square Footages

Product	Number of Units	Square Footages (approx.)
Multi-Family Flats	43 - 1 bdr	788
	86 - 2 bdr	1000
	15 - 3 bdr	1244
Stacked Townhouses	310	1130 - 1900
Townhouses (16'-20' w.)	375	1100 - 1500
Townhouses (22'-26' w.)	93	1500 - 1750
Townhouses (32' w.)	60	2400 - 2800
Single Family (20'-24' w.)	401	1800 - 2200
Single Family (32' w.)	172	2200 - 2800
Single Family (42' w.)	32	2500 - 3000
Single Family (50' w.)	41	2800 - 3500

Building Heights

Product	Stories	Height (Midpoint of Roof)
Multi-Family Flats	3	45'
Stacked Townhouses	4	55'
Townhouses (16'-20' w.)	3	45'
Townhouses (22'-26' w.)	2	35'
Townhouses (32' w.)	2	35'
Single Family (20'-50' w.)	2	35'

Development Summary – Multi-Family

Development Area	64.0 ± acres
Total Units	982
Flats	144
Stacked Townhomes	310
Townhomes	528
Density	15.3 units/acre
Open Space	12.2 ± acres (19%)

Parking Summary – Multi-Family

Parking Required:	
Flats (Group 2b)	274
1 space/unit, 144 units	
.5 spaces/bedroom, 260 bedrooms	
Townhomes (Group 2)	838
1 space/unit	
Total	1112
Parking Provided:	
Flats	280
Townhomes (Garage)	991
Stacked	310
6'-20' w.	375
22'-26'w.	186
32' w.	120
Total	1271

