



**HISTORIC PRESERVATION
COMMISSION AGENDA
TUESDAY, JULY 21, 2020
ELECTRONIC MEETING
VIA MICROSOFT TEAMS**

WORK SESSION 4:30 P.M./PUBLIC HEARING 5:00 P.M.

This HPC electronic meeting is being held pursuant to Ordinance No. 2020-21. The public may access a live broadcast of this electronic meeting at:

https://teams.microsoft.com/l/meetup-join/19%3ameeting_ZmM1NTIiNTgtMTQ1Ny00NzJmLTgyOWItMWRjZThjY2Q2MzJk%40thread.v2/0?context=%7b%22id%22%3a%22c77db4d8-a0f5-454a-92c1-b7d84c64fd44%22%2c%22oid%22%3a%227cc065a4-5448-4494-b0da-d73f4ea5f5ea%22%7d.

Comments to the HPC about this meeting may be submitted to chopj@portsmouthva.gov by 3pm, Tuesday, June 16, 2020. A recording will be posted on the Virtual Planning Department webpage, <http://www.portsmouthva.gov/1142/Virtual-Planning-Department>. Notice of access and participation in this public meeting was posted on the Virtual Planning Department webpage on the City of Portsmouth website.

- A. CALL TO ORDER
- B. WELCOME
- C. ROLL CALL
- D. ADOPTION OF MINUTES
- E. SUMMARY OF THE PURPOSE OF DESIGN REVIEW
- F. SUMMARY OF PUBLIC HEARING PROCESS
- G. CONSENT AGENDA
- H. REVIEW APPLICATIONS FOR CERTIFICATE OF APPROPRIATENESS (COA)

****CONSENT AGENDA**: Applications examined by the Historic Preservation Commission and are complete and consistent with the design guidelines are approved at the beginning of the meeting and they are approved as submitted.

Planning Department

801 Crawford Street • Portsmouth, VA 23704-3822 • (757) 393-8836 • Fax: (757) 393-5223

NEW ITEMS

HPC-20-00109

PORCH ROOF REPLACEMENT

Michael Bennett seeks approval to replace existing metal roof of the front porch with architectural shingles. The property is located at **1050 Leckie Street (Park View)**.

“A number of substitute roof materials may be approved for use in Park View. These materials include metal, artificial slate, and architectural and asphalt shingles.....” p. 40

“Do not replace a deteriorated historic roof with a material that does not have the same visual qualities as the original....” p. 43

“Consolidate original roof materials to the most visible areas and use replacement materials on areas not in view from public way....” p. 43

“Replace roof coverings when necessary, using new material that matches the original roof covering in composition, size, shape, color, and texture.....p. 43

HPC-20-00111

NEW CONSTRUCTION

Sean Collins-Harris seeks approval to construct a new two-story single-family dwelling with a front porch, a back deck, and a detached garage. The proposed dwelling will use smooth hardie board siding, architectural shingles on the roof, and one over one composite windows. **The property is located at 100 Webster Avenue (Park View)**.

“Design new buildings to respect the width of original structures in the district thereby maintaining the rhythm of spacing between houses in the district.....” p.75

“Use asphalt shingles in dark grey tones to create a visual pattern similar to the original slate roof.....” p.76

“Construct windows of wood (which may be vinyl-or metal-clad) a window composite, vinyl or fiberglass.....” p.79

“Use windows with true divided lights or interior and exterior fixed muntins with internal spaces to reference traditional design and match the style of the building.....” p. 79

“Make sure that new porch designs reflect the size, materials, proportion, and placement of existing historic porches.....” p. 80

“Distinguish the foundation from the rest of the building through the use of a brick foundation on frame structures....” p.81

HPC-20-00112

NEW CONSTRUCTION

Sean Collins-Harris seeks approval to construct a new single-family dwelling with a front porch, a back deck, and a detached garage. The proposed dwelling will use smooth hardie board siding, architectural shingles on the roof, and one over one composite windows. **The property is located at 104 Webster Avenue (Park View).**

“Design new buildings to respect the width of original structures in the district thereby maintaining the rhythm of spacing between houses in the district.....” p.75

“Use asphalt shingles in dark grey tones to create a visual pattern similar to the original slate roof.....” p.76

“Construct windows of wood (which may be vinyl-or metal-clad) a window composite, vinyl or fiberglass.....” p.79

“Use windows with true divided lights or interior and exterior fixed muntins with internal spaces to reference traditional design and match the style of the building.....” p. 79

“Make sure that new porch designs reflect the size, materials, proportion, and placement of existing historic porches.....” p. 80

“Distinguish the foundation from the rest of the building through the use of a brick foundation on frame structures....” p.81

I. APPLICATIONS APPROVED (ATTACHED)

J. NEW BUSINESS

K. ADJOURNMENT

HPC-20-00109

PORCH ROOF REPLACEMENT

Michael Bennett seeks approval to replace existing metal roof of the front porch with architectural shingles. The property is located at **1050 Leckie Street (Park View)**.

HPC-20-00109



Certificate of Appropriateness Application Form

801 Crawford Street, Portsmouth, Virginia 23704

www.portsmouthva.gov/planning/

Notes:

1. A pre-application conference is not required for a certificate of appropriateness but applicants are strongly encouraged to meet with staff to discuss the proposed project prior to submitting an application.
2. Depending on the proposed activity, the review and decision on an application may be undertaken by staff or the Historic Preservation Commission (HPC) or the Downtown Design Commission (DDC). See the matrix in Section 4 of this application form to identify the appropriate review body based on the proposed project type.
3. Any development within a historic or D1 Downtown district is required to have a certificate of appropriateness approval before any other applications can be filed.
4. Public notification requirements may include the on-site posting of the meeting date, time, and location for public review. A site visit may also be required for consideration of your application. Your signature on the accompanying Master Development Application Form authorizes the places of such notice on your property and allows members of the Historic Preservation Commission, DDC and/or staff to enter the property to view the exterior of any buildings or structure on the site.

1. General Project Information

Project Address: 1050 Leckie St

Tax Parcel Identification Number:

Located in?: D1 Downtown Old Towne Port Norfolk Park View Cradock Truxtun

Were the Historic District Guidelines consulted for this project? Yes No Don't Know

If yes, how did you obtain the guidelines? Online Library Planning Department Civic League

Chapter(s) of Historic District Guidelines consulted:

Site Design Section(s):

Existing Structures - Elements Section(s):

Existing Structures - Materials Section(s):

New Construction and Additions Section(s):

Demolition and Moving Section(s):

2. Written Description of Exterior Work (check all that apply)

Changes to an Existing Structure/Site New Construction Addition(s) Demolition

A) Describe in your own words, all exterior work, building and site, that can be seen from a public right-of-way. Be sure to indicate all exterior materials and colors. You may use additional sheets and attached manufacturer's information sheets where appropriate.

I am requesting your permission to make a change to my current front porch roof. My existing roof, which is probably the original has endured for almost 100 years. It is made of metal. The roof is now severely damaged and is leaking. Per advice and estimates of several contractors if the metal is severed to replace the damage wood it can not be reused or replaced because of deterioration. Therefore I am seeking your permission to replace with architectural shingles that are almost identical to the roofing of the house. Today's cost of metal roofing is exuberant ranging from \$5000 to over \$10,000. I definitely do not intend in restoring my house, I use the best materials (Port's Lumber), Benjamin Moore paints. My most recent project was restoring the original downstairs front windows at a cost of \$2000, connecting the window weight, etc. My goal is not to deviate from the early 1900 era but to preserve.

HPL-20-00109



Master Development Application Form

801 Crawford Street, Portsmouth, Virginia 23704

www.portsmouthva.gov/planning/

Notes:

- All applications require the submission of this Master Development Application Form and the submission of a Specific Procedure Review Form for the proposed activity. Only one Master Development Application Form is required for each project, regardless of the number of actions, permits, or reviews required.
- No action will take place, nor will the request be placed on any agenda, if staff determines that the application is not complete.
- No application will be processed while violations exist on the property or if there are outstanding fines, taxes, liens, or other fees are owed to the City of Portsmouth.
- A Certificate of Appropriateness is required prior to any activity in the D1 Downtown District or any Historic District (i.e., Olde Towne, Port Norfolk, Park View, Cradock, or Truxtun). See staff prior to application. A Certificate of Compliance (D2) is required prior to any activity in the D2 Uptown District (Form-Based Code).

1. General Project Information

Project Address: 1050 Leckie St.

Tax Parcel Identification Number:

Lot Area (in square feet):

Zoning District:

2. Proposed Activity - Please check all that apply

(PC) = A preapplication conference must be completed prior to submission of the Master Development Application Form.

Proposed Use: I am requesting your permission to make a change to my front porch roof which is metal that is beyond repair. My request is to replace with architectural shingles that are almost identical to the state roof of the house.

Check all permits or reviews that apply:

<input type="checkbox"/> Zoning Verification Request	<input type="checkbox"/> Use Permit (PC)	<input type="checkbox"/> Zoning Compliance Permit (Signs)
<input type="checkbox"/> Building Permit	<input type="checkbox"/> Zoning Compliance Permit	<input type="checkbox"/> Zoning Map Amendment (PC)
<input type="checkbox"/> Temporary Use Permit	<input type="checkbox"/> Certificate of Occupancy	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Type I Development Plan	<input type="checkbox"/> Major Subdivision (PC)
<input type="checkbox"/> Certificate of Compliance (D2)	<input type="checkbox"/> Variance Permit (PC)	<input type="checkbox"/> Subdivision Exception
<input type="checkbox"/> Wetland Permit	<input type="checkbox"/> Interpretation Request	<input type="checkbox"/> Encroachment
<input type="checkbox"/> Flood Plain Certificate	<input type="checkbox"/> Land Disturbance Permit	
<input type="checkbox"/> Street Closure	<input type="checkbox"/> Chesapeake Bay Exception	
<input type="checkbox"/> Appeals	<input type="checkbox"/> Administrative Adjustment or Alternative Form of Compliance	

3. Primary Point of Contact Information

Please circle the preferred method of contact (mail, telephone, fax, or e-mail)

Primary Point of Contact Name: Michael Bennett

Mailing Address: 1050 Leckie St.

Phone No.: 757.582.1889 **Fax No.:**

Email: Michael Othilia Bennett@gmail.com

HPL-20-00109

The property owner must sign a property owner consent box (See item number 5 on the following page).

Property owner contact name:	Michael Bennett		
Mailing Address:	1050 Leckie St		
Phone No.:	757-582-1889	Fax No.:	
E-mail:	MichaelBennett@Comcast.com		

Project Address:	1050 Leckie St		
Tax Parcel Identification Number:			

The names, addresses, telephone numbers, and signatures of all owners of the property are required. Please attach additional sheets as needed. If a legal representative signs for a property owner, please attach an executed power of attorney. Faxed or photocopied signatures will not be accepted.

By signing this application below, I, as the owner of the property under review, give my endorsement of this application.

Property owner or authorized signature:	<i>Michael Bennett</i>	Date Signed:	7/7/2020
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If a business entity owns the property, the following is the name and title of the individual authorized to sign, as the property owner above, for such business entity.

Name of Person Authorized to Sign:	N/A		
Title of Person Authorized to Sign:	N/A		
Mailing Address:			
Phone No.:			

By signing this application below, I hereby attest to the truth and accuracy of all facts and information presented with this application.

Applicant's signature:	<i>Michael Bennett</i>	Date Signed:	7/7/2020
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OFFICE USE ONLY	Project Number (Trademark):
Received By:	Received Date:
Accepted as Complete By:	Accepted Date:

HPC - 20 - 00109

1050 LECKIE STREET



HPC-20-00111

NEW CONSTRUCTION

Sean Collins-Harris seeks approval to construct a new two-story single-family dwelling with a front porch, a back deck, and a detached garage. The proposed dwelling will use smooth hardie board siding, architectural shingles on the roof, and one over one composite windows. **The property is located at 100 Webster Avenue (Park View).**

HPC - 20-0011



801 Crawford Street, Portsmouth, Virginia 23704

Certificate of Appropriateness Application Form

www.portsmouth.gov/cemr/

- NOTES:**
1. A pre-application conference is not required for a certificate of appropriateness but applicants are strongly encouraged to meet with staff to discuss the proposed project prior to submitting an application.
 2. Depending on the proposed activity, the review and decision on an application may be undertaken by staff or the Historic Preservation Commission (HPC) or the Downtown Design Commission (DDC). See the matrix in Section 4 of this application form to identify the appropriate review body based on the proposed project type.
 3. Any development within a Historic or D1 Downtown district is required to have a certificate of appropriateness approval before any other applications can be filed.
 4. Public notification requirements may include the on-site posting of the meeting date, time, and location for public review. A site visit may also be required for consideration of your application. Your signature on the accompanying Master Development Application Form authorizes the posting of such notice on your property and allows members of the Historic Preservation Commission, DDC and/or staff to enter the property to view the exterior of any buildings or structure on the site.

1. General Project Information

Project Address: 1100 Webster

Tax Parcel Identification Number: _____

Located in? D1 Downtown Old Towne Port Norfolk Park View Craddock Truston

Were the Historic District Guidelines consulted for this project? Yes No Don't Know

If yes, how did you obtain the guidelines? Online Library Planning Department CMC League

Chapter(s) of Historic District Guidelines consulted:

<input type="checkbox"/> Site Design	Section(s):
<input type="checkbox"/> Existing Structures - Elements	Section(s):
<input type="checkbox"/> Existing Structures - Materials	Section(s):
<input type="checkbox"/> New Construction and Additions	Section(s):
<input type="checkbox"/> Demolition and Moving	Section(s):

2. Written Description of Exterior Work (check all that apply)

Changes to an Existing Structure/Site New Construction Addition(s) Demolition

A) Describe in your own words, all exterior work, building and site, that can be seen from a public right-of-way. Be sure to indicate of exterior materials and colors. You may use additional sheets and attached manufacturer's information sheets where appropriate.

New construction Buid with detached garage

HPL-20-00111



801 Crawford Street, Portsmouth, Virginia 23704

Master Development Application Form

www.portsmouthva.gov/development

- Notes:**
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 - No action will take place, nor will the request be placed on any agenda, if staff determines that the application is not complete.
 - No application will be processed while violations exist on the property or if there are outstanding fines, taxes, liens, or other fees owed to the City of Portsmouth.
 - A Certificate of Appropriateness is required prior to any activity in the D1 Downtown District or any Historic District (i.e., Old Towne, Port Norfolk, Park View, Cradock, or Trustart). See staff prior to application. A Certificate of Compliance (CC) is required prior to any activity in the D2 Uptown District (Form-Based Code).

1. General Project Information

Project Address: 100 Webster Ave

Tax Parcel Identification Number: _____

Lot Area (in square feet): _____

Zoning District: _____

2. Proposed Activity - Please check all that apply

(PC) = A pre-application conference must be completed prior to submission of the Master Development Application Form.

Proposed Use: _____

Check all permits or reviews that apply:

<input checked="" type="checkbox"/> Zoning Verification Request	<input type="checkbox"/> Use Permit (PC)	<input type="checkbox"/> Zoning Compliance Permit (Sign)
<input checked="" type="checkbox"/> Building Permit	<input checked="" type="checkbox"/> Zoning Compliance Permit	<input type="checkbox"/> Zoning Map Amendment (PC)
<input type="checkbox"/> Temporary Use Permit	<input checked="" type="checkbox"/> Certificate of Occupancy	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Type I Development Plan	<input type="checkbox"/> Major Subdivision (PC)
<input type="checkbox"/> Certificate of Compliance (CC)	<input type="checkbox"/> Variance Permit (PC)	<input type="checkbox"/> Subdivision Exception
<input type="checkbox"/> Wetland Permit	<input type="checkbox"/> Interpretation Request	<input type="checkbox"/> Encroachment
<input type="checkbox"/> Flood Plain Certificate	<input checked="" type="checkbox"/> Land Disturbance Permit	<input type="checkbox"/>
<input checked="" type="checkbox"/> Street Closure	<input type="checkbox"/> Chesapeake Bay Exception	<input type="checkbox"/>
<input type="checkbox"/> Appeals	<input type="checkbox"/> Administrative Adjustment or Alternative Form of Compliance	

3. Primary Point of Contact Information

Please circle the preferred method of contact (mail, telephone, fax, or e-mail)

Primary Point of Contact Name: Seam Collins-Harris

Mailing Address: 742 E 25th Street Norfolk, VA 23504

Phone No.: 0757 9077006 Fax No.: _____

Email: Applied.pressure.co@gmail.com

GENERAL NOTES:

- THE ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY STRUCTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND THE SPECIFICATIONS THAT MAY APPLY. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2015 EDITION AS ADOPTED BY THE VIRGINIA AND THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2015 EDITION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT SUPPORTS AND LATERAL BRACING ARE IN PLACE.
- LOADS USED IN THE DESIGN OF THIS STRUCTURE ARE AS FOLLOWS:

A. LIVE LOADS:		
BEDROOMS	30 PSF	
ALL OTHER AREAS	40 PSF	
ROOF	20 PSF	
B. WIND LOADS:		
WIND SPEED	120 MPH	
EXPOSURE	B	
- A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL.
- FIREBLOCKING SHALL BE PROVIDED TO CUT-OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE.
- ALL EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR. ALL WINDOWS WITHIN 18" OF FINISH FLOOR WITHOUT A LANDING OUTSIDE, MUST NOT BE OPERATABLE TO THE EXTENT OF WINDOW WITHIN 18".
- THE GLAZING PENETRATION U-FACTOR SHALL COMPLY WITH N102.3 AND TABLE N102.1.2 WHICH IS (35) SOLAR HEAT GAIN COEFFICIENT VALUE (0.4)
- ALL BATHTUBS AND SHOWER FLOORS, ALL WALLS ABOVE BATHTUBS (WITH INSTALLED SHOWER HEADS) AND IN ALL SHOWER COMPARTMENTS, SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. THE WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR (R307.02)
- ATTIC ACCESS SHALL BE SEALED WITH A GASKET AND AN R-38 INSULATION. SEE N102.2.3
- FOR FIREPLACE COMPLIANCE REFER TO R1001.1 & N102.4.3
- TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE BUILDING COMPONENT SAFETY INFORMATION (BSCI 1-09), (IRC SECTION 802.10.3)

FOUNDATION NOTES:

- THE FOUNDATIONS FOR THIS STRUCTURE HAVE BEEN DESIGNED WITH AN ASSUMED BEARING PRESSURE OF 1500 PSF. THE FOOTING SUBGRADE SHALL BE UNDISTURBED NATIVE NONORGANIC SOILS, OR CLEAN COMPACTED STRUCTURAL FILL. FOUNDATION BEARING SOILS SHALL BE EVALUATED BY A LICENSED GEOTECHNICAL ENGINEER TO CONFIRM THE DESIGN BEARING PRESSURE AND THAT THE ASSOCIATED SETTLEMENTS ARE WITHIN GENERALLY ACCEPTED TOLERABLE LIMITS.
- PRIOR TO PLACING FOUNDATION CONCRETE, ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER TO EXPLORE THE EXTENT OF LOOSE, SOFT OR OTHERWISE UNSATISFACTORY SOIL MATERIAL AND TO VERIFY DESIGN BEARING PRESSURE. THE GEOTECHNICAL ENGINEER WILL PROVIDE DIRECTION FOR CORRECTIVE ACTION WHERE REQUIRED.
- NO UNBALANCED BACKFILLING SHALL BE DONE AGAINST WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING, EITHER BY TEMPORARY CONSTRUCTION BRACING OR BY PERMANENT CONSTRUCTION.
- FROST LINE DEPTH IS 12" BELOW FINISHED GRADE. BOTTOM OF ALL EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 16" BELOW EXTERIOR FINISHED GRADE ELEVATION.

CAST-IN-PLACE CONCRETE NOTES:

- CAST-IN-PLACE CONCRETE FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-05) AND COMMENTARY (ACI 318R-05)".
- CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS:

A. SLAB-ON-GRADE	3500 PSI
B. ALL OTHER CONCRETE NOT OTHERWISE NOTED	3000 PSI
- REINFORCING MATERIALS SHALL BE AS FOLLOWS:

A. REINFORCING BARS - ASTM A 615, GRADE 60, DEFORMED.
B. WELDED WIRE FABRIC - ASTM A 185, WELDED STEEL WIRE FABRIC. SHEET TYPE - ROLLED TYPE NOT ACCEPTABLE.
- ALL REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE ACCURATELY PLACED IN THE POSITIONS SHOWN AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL AS INDICATED ON THE DRAWINGS SHALL GOVERN WHEN IN CONFLICT WITH ACI 318-05.

ROUGH CARPENTRY NOTES:

- ROUGH CARPENTRY FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION".
- WOOD FRAMING MEMBERS SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND THE FOLLOWING REQUIREMENTS:

A. MOISTURE CONTENT - SEASONED, WITH 19 PERCENT MAXIMUM MOISTURE CONTENT.
B. GRADE - NO. 2.
C. SPECIES - SOUTHERN PINE GRADED UNDER SPIB RULES.
- WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND SILL PLATES AROUND THE PERIMETER SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH THE SPECIFICATIONS.
- METAL FRAMING ANCHORS SHALL COMPLY WITH ASTM A 446 GRADE A (STRUCTURAL QUALITY). ANCHORS SHALL BE AS INDICATED OR EQUAL AND/OR SHALL BE CAPABLE OF SUPPORTING THE REACTIONS SHOWN.
- PROVIDE BRIDGING FOR ALL ROOF RAFTERS. MAXIMUM SPACING SHALL BE 8'-0" UNLESS OTHERWISE NOTED.
- PROVIDE HEADERS OF THE SAME CROSS SECTION AS OR RAFTERS TO FRAME AROUND ALL OPENINGS TO SUPPORT SHEATHING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
- UNLESS OTHERWISE NOTED, ATTACH BLOCKING AND NAILERS TO STEEL FRAMING USING 3/16" DIAMETER POWDER ACTUATED FASTENERS AT 12" ON-CENTER OR 1/2" DIAMETER BOLTS AT 24" ON-CENTER. STAGGER FASTENERS TO ALTERNATE SIDES OF BEAM WEB.
- WHERE MULTIPLE FRAMING MEMBERS ARE INDICATED, SCAB CONTINGENT MEMBERS TOGETHER WITH 10d NAILS AT 12" ON-CENTER, ALTERNATING AT 2 INCHES FROM EACH EDGE FOR MEMBERS 2X6 AND LESS AND TWO ROWS OF 10d NAILS AT 12" ON-CENTER, 2 INCHES FROM EACH EDGE FOR MEMBER 2X8 AND GREATER.
- ALL FASTENERS INTO MASONRY, OR TREATED TIMBER SHALL BE HOT-DIPPED GALVANIZED OR CORROSION RESISTANT.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

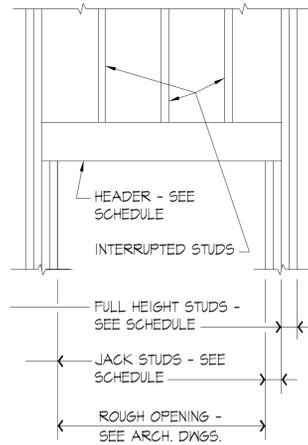
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d (2-1/2"x 0.118)	-----
1"x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-10d (2-1/2"x 0.118) 2 staples, 1 3/4"	-----
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d (3 1/2"x 0.135")	-----
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d (3 1/2"x 0.135")	16" o.c.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d (3 1/2"x 0.135")	-----
STUD TO SOLE PLATE, TOE NAIL	2-16d (3 1/2"x 0.135")	-----
DOUBLE STUDS, FACE NAIL	10d (3"x 0.128")	12" o.c.
DOUBLE TO PLATES, FACE NAIL	10d (3"x 0.128")	12" o.c.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d (3 1/2"x 0.135")	16" o.c.
DOUBLE TOP PLATES, MINIMUM 36" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	12-16d (3 1/2"x 0.135")	-----
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d (2-1/2"x 0.118)	-----
RIM JOIST TO TOP PLATE, TOE NAIL	8d (2-1/2"x 0.118)	6" o.c.
TOP PLATES, LAPS AT CORNERS AND AND INTERSECTIONS, FACE NAIL	4-10d (3"x 0.128")	-----
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d (3 1/2"x 0.135")	12" o.c. along each edge
CONTINUED HEADER, TWO PIECES	16d (3 1/2"x 0.135")	12" o.c. along each edge
CEILING JOISTS TO PLATE, TOE NAIL	3-12d (2-1/2"x 0.118)	-----
CONTINUOUS HEADER TO STUD, TOE NAIL	4-12d (2-1/2"x 0.118)	-----
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	5-10d (3"x 0.128")	-----
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	5-10d (3"x 0.128")	-----
RAFTER TO PLATE, TOE NAIL	2-16d (3 1/2"x 0.135")	-----
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d (2-1/2"x 0.118) 2 staples, 1 3/4"	-----
1"x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (2-1/2"x 0.118) 2 staples, 1 3/4"	-----
1"x 8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (2-1/2"x 0.118) 3 staples, 1 3/4"	-----
WIDER THAN 1"x 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d (2-1/2"x 0.118) 4 staples, 1 3/4"	-----
BUILT-UP CORNER STUDS	10d (3"x 0.128")	12" o.c.
BUILT-UP CORNER GIRDERS AND BEAMS, 2" LUMBER LAYERS	10d (3"x 0.128")	* See note at bottom of schedule
2" PLANKS	2-16d (3 1/2"x 0.135")	At each bearing
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS:		
TOE NAIL	4-16d (3 1/2"x 0.135")	-----
FACE NAIL	3-16d (3 1/2"x 0.135")	-----
RAFTER TIES TO RAFTERS, FACE NAIL	5-10d (2-1/2"x 0.118)	-----
COLLAR TIE TO RAFTER, FACE NAIL, OR 1 1/4"x 20 GAGE RIDGE STRAP	3-10d (3"x 0.128")	-----
5/16" - 1/2" PLYWOOD	8d (2"x 0.118") nail (subfloor, wall) / 8d (2-1/2"x 0.131") nail (roof)	6" o.c. (edges) 12" o.c. (field)
1/4" - 1" PLYWOOD	10d (2-1/2"x 0.131") nail (roof)	6" o.c. (edges) 12" o.c. (field)
1/2" GYPSUM SHEATHING	1 1/2" galv. roof nail; 8d (2"x 0.131") nail; staple galv. 1 1/2", 1 1/4" screen, type W or S	4" o.c. (edges) 8" o.c. (field)
5/8" GYPSUM SHEATHING	1 3/4" galv. roof nail; 8d (2"x 0.131") nail; staple galv. 1 5/8", 1 5/8" screen, type W or S	4" o.c. (edges) 8" o.c. (field)
3/4" AND LESS SUBFLOOR UNDERLAYMENT TO FRAMING	8d (2-1/2"x 0.131") nail	6" o.c. (edges) 12" o.c. (field)
1/8" - 1" SUBFLOOR UNDERLAYMENT TO FRAMING	10d (2-1/2"x 0.131") nail	6" o.c. (edges) 12" o.c. (field)
1 1/8" - 1 1/4" SUBFLOOR UNDERLAYMENT TO FRAMING	12d (3"x 0.148") nail	6" o.c. (edges) 12" o.c. (field)

* NAIL EACH LAYER AS FOLLOWS: 32" o.c. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AT EACH SPLICE

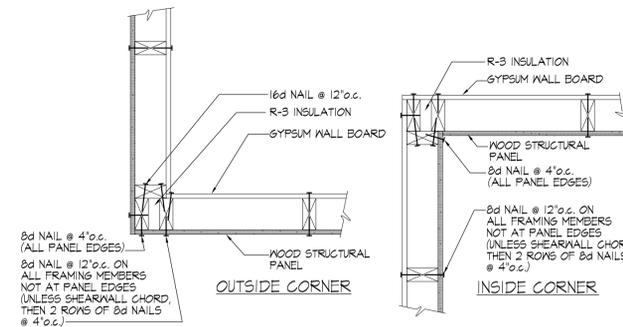
WOOD HEADER SCHEDULE NOTES:

- HEADER SCHEDULE APPLIES TO MEMBERS IN PERIMETER AND INTERIOR BEARING WALLS NOT OTHERWISE NOTED ON THE DRAWINGS.
- FULL HEIGHT STUDS APPLY TO EXTERIOR WALLS AND SHEARWALLS ONLY. PROVIDE SINGLE FULL HEIGHT STUD TO ALL OTHER WALLS.
- WHERE SPECIFIED JACK STUDS AND FULL HEIGHT STUDS WILL NOT FIT WITHIN THE WALL, PROVIDE FRAMING ANCHORS CAPABLE OF SUPPORTING THE FULL REACTION OF THE HEADER, AND FRAME HEADER INTO THE SIDE OF THE FULL HEIGHT STUDS.
- PROVIDE PLYWOOD FLITCH PLATES OR SPACERS AS REQUIRED.
- FOR HEADERS AT LARGER OPENINGS AND HEADERS WITH SPECIAL LOADS SEE PLAN FOR HEADER CONSTRUCTION.
- LUMBER SPECIES SHALL BE SOUTHERN YELLOW PINE #1 OR BETTER
- FILL ALL VOIDS WITH R-3 INSULATION

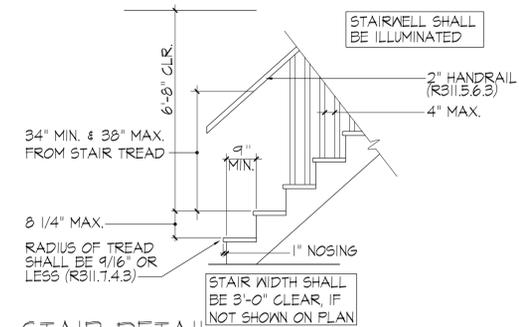
ROUGH OPENING	COMPOSITION 4	JACK STUDS		FULL HEIGHT STUDS	REMARK
		1ST FLOOR	2ND FLOOR		
0 TO 4'-0"	2-2x8	2	1	2	---
4'-1" TO 6'-0"	2-2x10	2	2	3	---
6'-1" TO 7'-6"	2-2x12	2	2	4	---
7'-7" TO 9'-0"	2-LVL'S	3	2	5	---



TYPICAL OPENING
TYPICAL WOOD HEADER DETAIL
NOT TO SCALE:

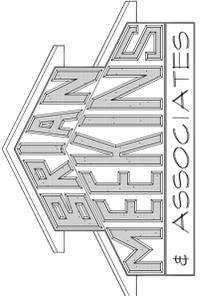


CORNER FRAMING DETAILS
NOT TO SCALE:



STAIR DETAIL
NOT TO SCALE:

CUSTOM HOME PLANS
* ADDITIONS
* RENOVATIONS
5245 CLEVELAND ST. #207
VA. BEACH, VIRGINIA 23462
EMAIL - Meekins@live.com
CELL-(252) 993-8978



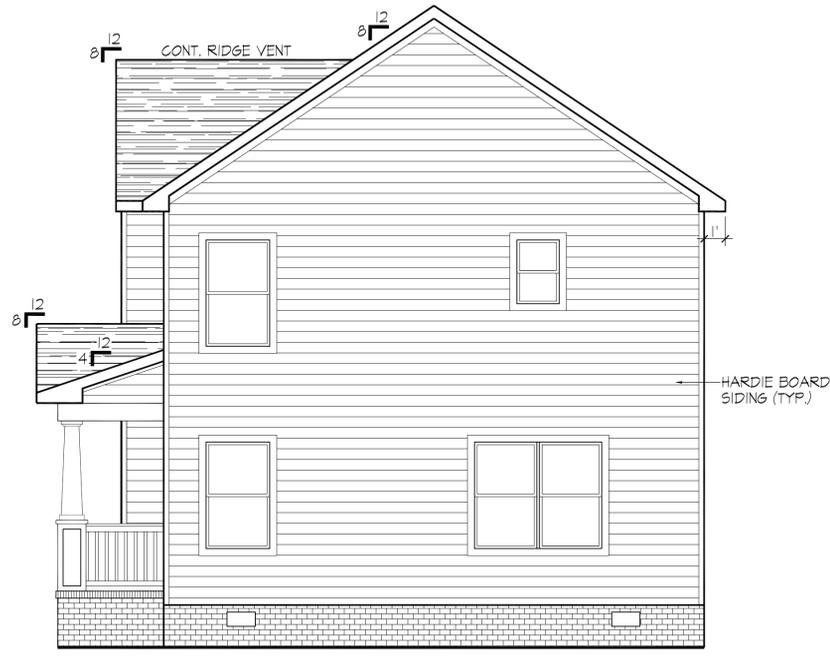
NOTES, SCHEDULES, & DETAILS
SINGLE FAMILY RESIDENCE
CHARLESTON HISTORICAL MODEL
100 & 104 WEBSTER AVENUE
PORTSMOUTH, VIRGINIA

DATE:
07.02.20

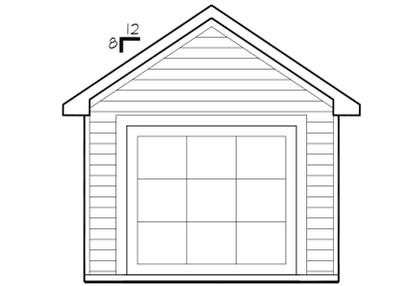
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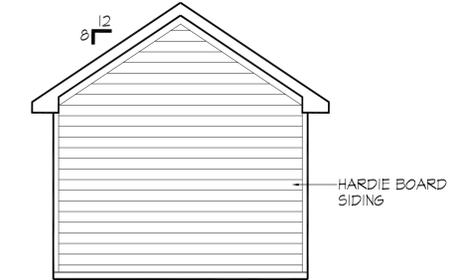
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

GARAGE	240 S.F.
FIRST FLOOR	891 S.F.
SECOND FLOOR	891 S.F.
TOTAL LIVING	1,752 S.F.

ROOF VENTILATION CALCULATION	
ATTIC SF	= 891 SF.
891/300	= 2.97 SF.
2.97 * 144	= 414.72 S.F.
414.72 / 2	= 207.36 S.F.
207 S.F.	REQUIRED FOR SOFFIT
104 S.F.	FOR EACH OF 2 SIDES
207 S.F.	REQUIRED FOR ROOF SURFACE



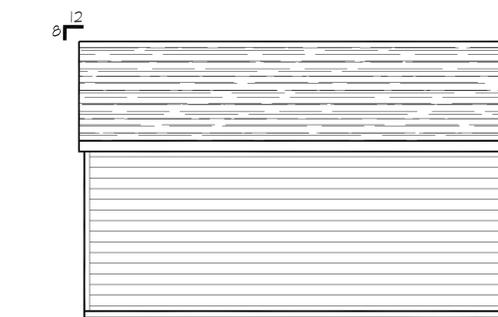
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

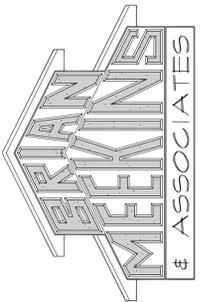


GARAGE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

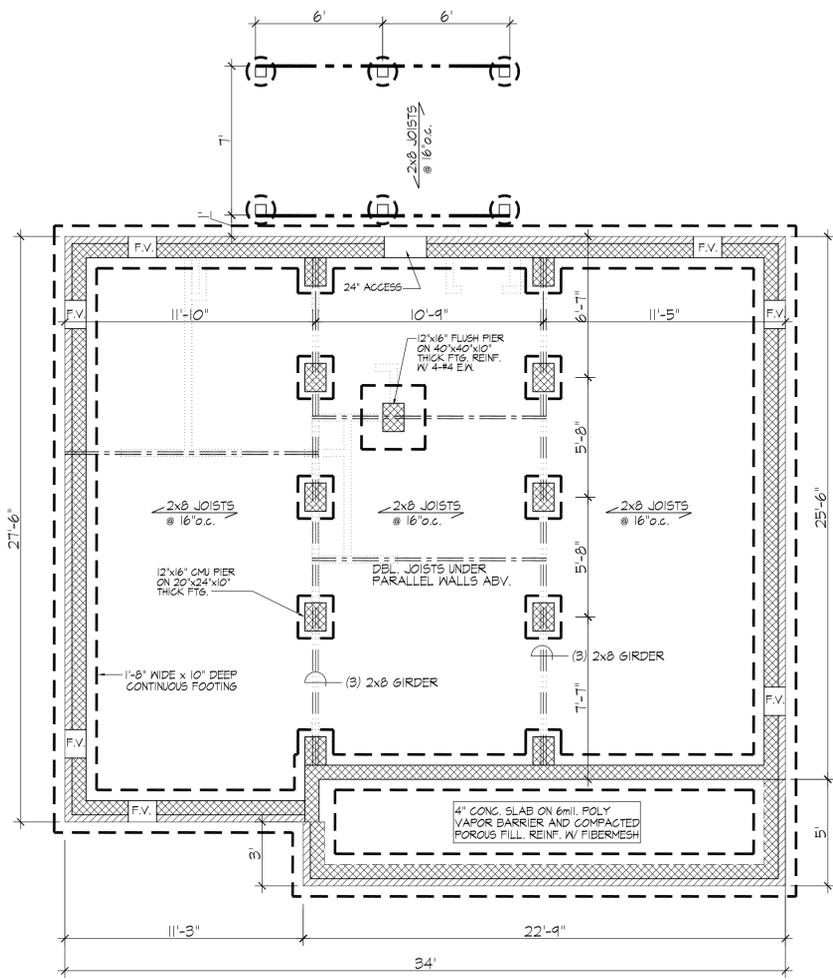
* CUSTOM HOME PLANS
* ADDITIONS
* RENOVATIONS
5245 CLEVELAND ST. #207
VA. BEACH, VIRGINIA 23462
EMAIL - Meekins@live.com
CELL - (252) 939-8978



ELEVATIONS
SINGLE FAMILY RESIDENCE
CHARLESTON HISTORICAL MODEL
100 & 104 WEBSTER AVENUE
PORTSMOUTH, VIRGINIA

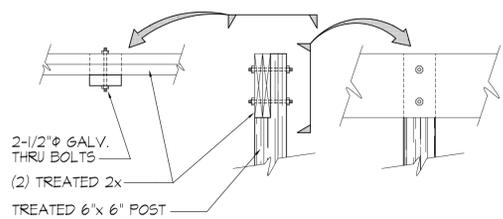
DATE:
07.02.20

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A2
OF 4



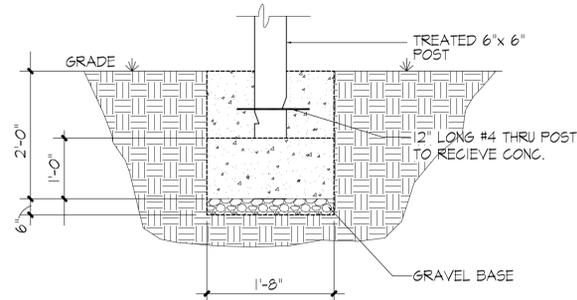
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



DECK FRAMING DETAILS

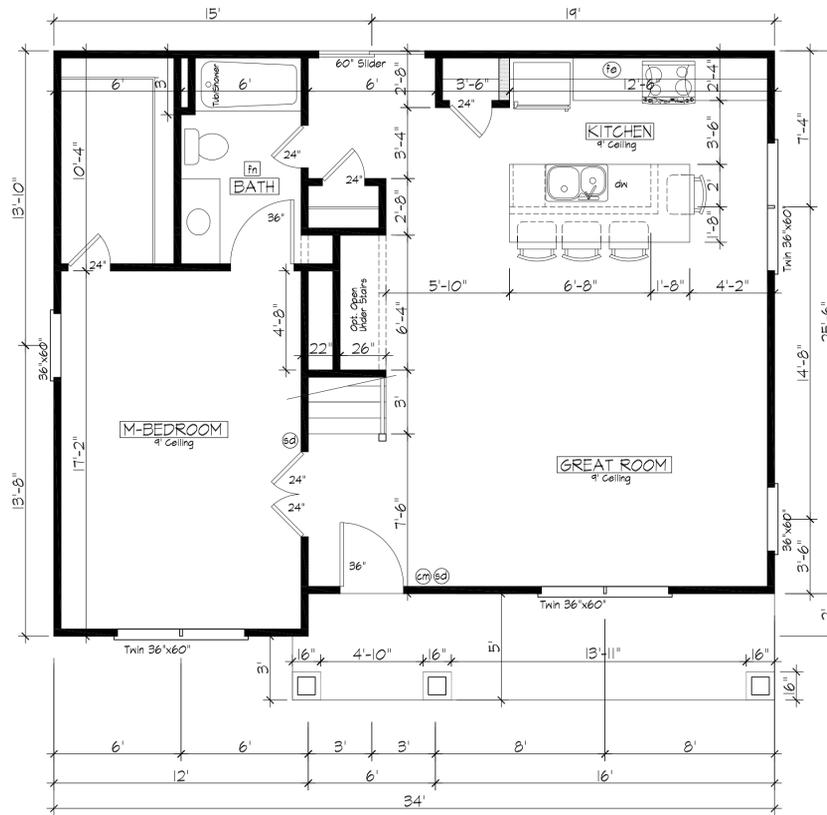
NOT TO SCALE:



POST DETAIL

NOT TO SCALE:

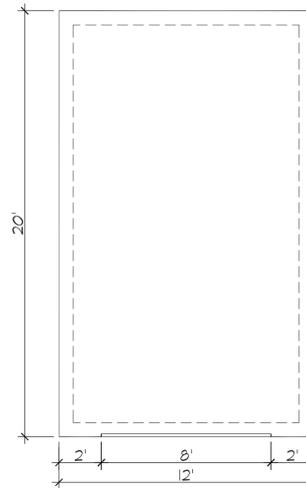
- INTERIOR BEARING WALL
- WALL ABOVE
- NEW 2x4 WALL CONSTRUCTION
- NEW 2x6 WALL CONSTRUCTION
- (fn) EXHAUST FAN / LIGHT
- (SD) WIRED SMOKE DETECTOR
- (CD) CARBON MONOXIDE DETECTOR
- (E) FIRE EXTINGUISHER



FIRST FLOOR PLAN

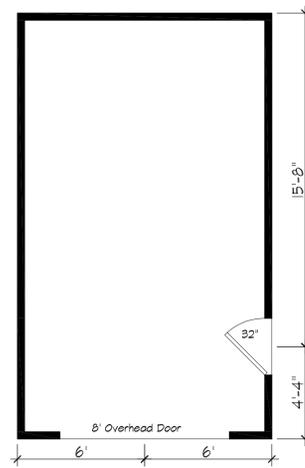
SCALE: 1/4" = 1'-0"

891 S.F.



GARAGE FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

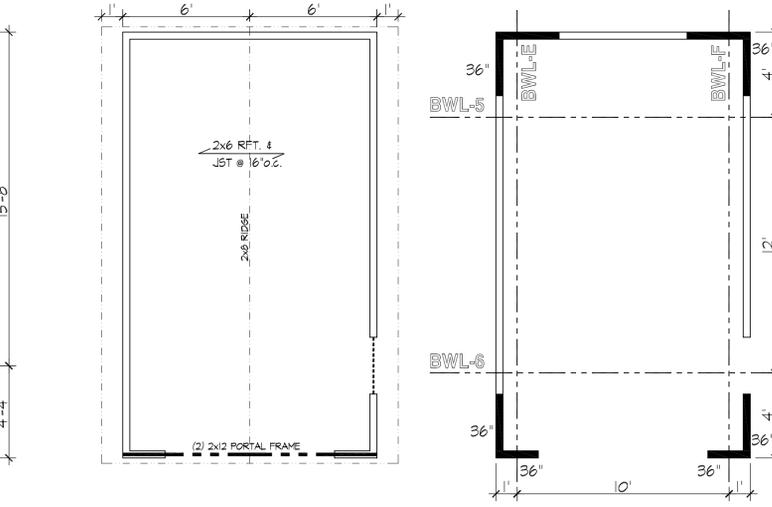


GARAGE PLAN

SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN

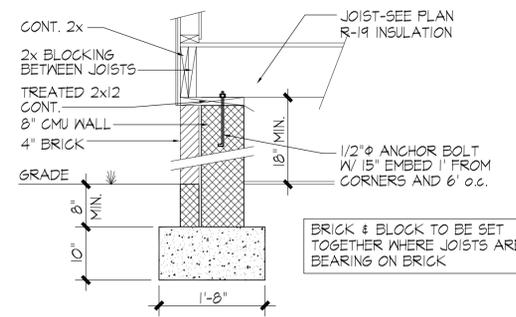
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

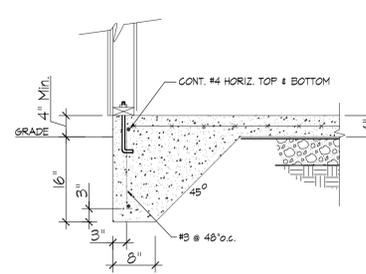
SCALE: 1/4" = 1'-0"

891 S.F.



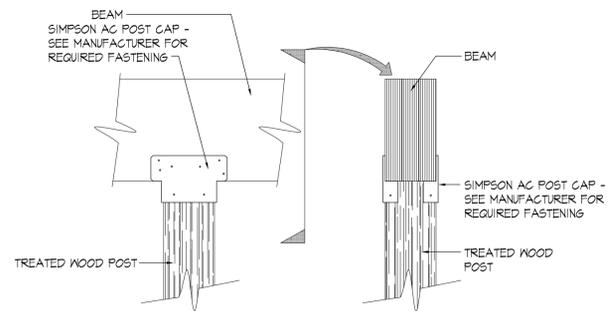
TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"



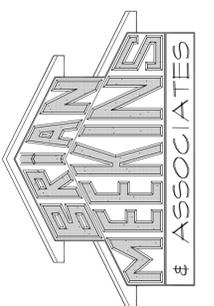
GARAGE FOUNDATION SECTION

SCALE: 3/4" = 1'-0"



TYPICAL POST CAP TO BEAM DETAIL

NOT TO SCALE:



CUSTOM HOME PLANS
* ADDITIONS
* RENOVATIONS
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CELL-(252) 999-8978

PLANS, DETAILS & SECTIONS
SINGLE FAMILY RESIDENCE
CHARLESTON HISTORICAL MODEL
100 & 104 WEBSTER AVENUE
PORTSMOUTH, VIRGINIA

DATE:
07.02.20

SHEET:
A3
OF 4

HPC-20-00112

NEW CONSTRUCTION

Sean Collins-Harris seeks approval to construct a new single-family dwelling with a front porch, a back deck, and a detached garage. The proposed dwelling will use smooth hardie board siding, architectural shingles on the roof, and one over one composite windows. **The property is located at 104 Webster Avenue (Park View).**



801 Crawford Street, Portsmouth, Virginia 23704

Certificate of Appropriateness Application Form

www.portsmouthva.gov/planning/

Notes:

1. A pre-application conference is not required for a certificate of appropriateness but applicants are strongly encouraged to meet with staff to discuss the proposed project prior to submitting an application.
2. Depending on the proposed activity, the review and decision on an application **may be undertaken by staff or the Historic Preservation Commission (HPC) or the Downtown Design Commission (DDC).** See the matrix in Section 4 of this application form to identify the appropriate review body based on the proposed project type.
3. Any development within a historic or D1 Downtown district is required to have a certificate of appropriateness approval before any other applications can be filed.
4. Public notification requirements may include the on-site posting of the meeting date, time, and location for public review. A site visit may also be required for consideration of your application. Your signature on the accompanying Master Development Application Form authorizes the places of such notice on your property and allows members of the Historic Preservation Commission, DDC and/or staff to enter the property to view the exterior of any buildings or structure on the site.

1. General Project Information

Project Address: 100 Webster

Tax Parcel Identification Number: _____

Located in?: D1 Downtown Olde Towne Port Norfolk Park View Cradock Truxtun

Were the Historic District Guidelines consulted for this project? Yes No Don't Know

If yes, how did you obtain the guidelines? Online Library Planning Department Civic League

Chapter(s) of Historic District Guidelines consulted:

<input type="checkbox"/> Site Design	Section(s):	
<input type="checkbox"/> Existing Structures – Elements	Section(s):	
<input type="checkbox"/> Existing Structures – Materials	Section(s):	
<input type="checkbox"/> New Construction and Additions	Section(s):	
<input type="checkbox"/> Demolition and Moving	Section(s):	

2. Written Description of Exterior Work (check all that apply)

Changes to an Existing Structure/Site New Construction Addition(s) Demolition

A) Describe in your own words, all exterior work, building and site, that can be seen from a public right-of-way. Be sure to indicate all exterior materials and colors. You may use additional sheets and attached manufacturer's information sheets where appropriate.

New construction Buid with detached garage



801 Crawford Street, Portsmouth, Virginia 23704

Master Development Application Form

www.portsmouthva.gov/planning/

Notes:

- All applications require the submission of this Master Development Application Form and the submission of a Specific Procedure Review Form for the proposed activity. Only one Master Development Application Form is required for each project, regardless of the number of actions, permits, or reviews required.
- No action will take place, nor will the request be placed on any agenda, if staff determines that the application is not complete.
- No application will be processed while violations exist on the property or if there are outstanding fines, taxes, liens, or other fees are owed to the City of Portsmouth.
- A Certificate of Appropriateness is required prior to any activity in the D1 Downtown District or any Historic District (i.e., Olde Towne, Port Norfolk, Park View, Craddock, or Truxtun). See staff prior to application. A Certificate of Compliance (D2) is required prior to any activity in the D2 Uptown District (Form-Based Code).

1. General Project Information

Project Address: 100 Webster Ave

Tax Parcel Identification Number: _____

Lot Area (in square feet): _____

Zoning District: _____

2. Proposed Activity – Please check all that apply

(PC) = A preapplication conference must be completed prior to submission of the Master Development Application Form.

Proposed Use: _____

Check all permits or reviews that apply:

<input checked="" type="checkbox"/> Zoning Verification Request	<input type="checkbox"/> Use Permit (PC)	<input type="checkbox"/> Zoning Compliance Permit (Signs)
<input checked="" type="checkbox"/> Building Permit	<input checked="" type="checkbox"/> Zoning Compliance Permit	<input type="checkbox"/> Zoning Map Amendment (PC)
<input type="checkbox"/> Temporary Use Permit	<input checked="" type="checkbox"/> Certificate of Occupancy	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Certificate of Appropriateness	<input type="checkbox"/> Type I Development Plan	<input type="checkbox"/> Major Subdivision (PC)
<input type="checkbox"/> Certificate of Compliance (D2)	<input type="checkbox"/> Variance Permit (PC)	<input type="checkbox"/> Subdivision Exception
<input type="checkbox"/> Wetland Permit	<input type="checkbox"/> Interpretation Request	<input type="checkbox"/> Encroachment
<input type="checkbox"/> Flood Plain Certificate	<input checked="" type="checkbox"/> Land Disturbance Permit	<input type="checkbox"/>
<input checked="" type="checkbox"/> Street Closure	<input type="checkbox"/> Chesapeake Bay Exception	<input type="checkbox"/>
<input type="checkbox"/> Appeals	<input type="checkbox"/> Administrative Adjustment or Alternative Form of Compliance	

3. Primary Point of Contact Information

Please circle the preferred method of contact (mail, telephone, fax, or e-mail)

Primary Point of Contact Name: Seam Collins - Harris

Mailing Address: 1742 E 25th Street Norfolk VA 23504

Phone No.: 757 967 7006 Fax No.: _____

Email: Applied.pressureco@gmail.com

GENERAL NOTES:

- THE ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY STRUCTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND THE SPECIFICATIONS THAT MAY APPLY. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE 2015 EDITION AS ADOPTED BY THE VIRGINIA AND THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2015 EDITION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL PERMANENT SUPPORTS AND LATERAL BRACING ARE IN PLACE.
- LOADS USED IN THE DESIGN OF THIS STRUCTURE ARE AS FOLLOWS:

A. LIVE LOADS:	
BEDROOMS	30 PSF
ALL OTHER AREAS	40 PSF
ROOF	20 PSF
B. WIND LOADS:	
WIND SPEED	120 MPH
EXPOSURE	B
- A PERMANENT ENERGY CODE CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL.
- FIREBLOCKING SHALL BE PROVIDED TO CUT-OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE.
- ALL EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR. ALL WINDOWS WITHIN 18" OF FINISH FLOOR WITHOUT A LANDING OUTSIDE, MUST NOT BE OPERATABLE TO THE EXTENT OF WINDOW WITHIN 18".
- THE GLAZING PENETRATION U-FACTOR SHALL COMPLY WITH N102.3 AND TABLE N102.1.2 WHICH IS (35) SOLAR HEAT GAIN COEFFICIENT VALUE (0.4)
- ALL BATHTUBS AND SHOWER FLOORS, ALL WALLS ABOVE BATHTUBS (WITH INSTALLED SHOWER HEADS) AND IN ALL SHOWER COMPARTMENTS, SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. THE WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR (R307.02)
- ATTIC ACCESS SHALL BE SEALED WITH A GASKET AND AN R-38 INSULATION. SEE N102.2.3
- FOR FIREPLACE COMPLIANCE REFER TO R1001.1 & N102.4.3
- TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE BUILDING COMPONENT SAFETY INFORMATION (BSCI 1-09), (IRC SECTION 802.10.3)

FOUNDATION NOTES:

- THE FOUNDATIONS FOR THIS STRUCTURE HAVE BEEN DESIGNED WITH AN ASSUMED BEARING PRESSURE OF 1500 PSF. THE FOOTING SUBGRADE SHALL BE UNDISTURBED NATIVE NONORGANIC SOILS, OR CLEAN COMPACTED STRUCTURAL FILL. FOUNDATION BEARING SOILS SHALL BE EVALUATED BY A LICENSED GEOTECHNICAL ENGINEER TO CONFIRM THE DESIGN BEARING PRESSURE AND THAT THE ASSOCIATED SETTLEMENTS ARE WITHIN GENERALLY ACCEPTED TOLERABLE LIMITS.
- PRIOR TO PLACING FOUNDATION CONCRETE, ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER TO EXPLORE THE EXTENT OF LOOSE, SOFT OR OTHERWISE UNSATISFACTORY SOIL MATERIAL AND TO VERIFY DESIGN BEARING PRESSURE. THE GEOTECHNICAL ENGINEER WILL PROVIDE DIRECTION FOR CORRECTIVE ACTION WHERE REQUIRED.
- NO UNBALANCED BACKFILLING SHALL BE DONE AGAINST WALLS UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING, EITHER BY TEMPORARY CONSTRUCTION BRACING OR BY PERMANENT CONSTRUCTION.
- FROST LINE DEPTH IS 12" BELOW FINISHED GRADE. BOTTOM OF ALL EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 16" BELOW EXTERIOR FINISHED GRADE ELEVATION.

CAST-IN-PLACE CONCRETE NOTES:

- CAST-IN-PLACE CONCRETE FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-05) AND COMMENTARY (ACI 318R-05)".
- CONCRETE SHALL BE NORMAL WEIGHT AND SHALL OBTAIN 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS:

A. SLAB-ON-GRADE	3500 PSI
B. ALL OTHER CONCRETE NOT OTHERWISE NOTED	3000 PSI
- REINFORCING MATERIALS SHALL BE AS FOLLOWS:

A. REINFORCING BARS - ASTM A 615, GRADE 60, DEFORMED.
B. WELDED WIRE FABRIC - ASTM A 185, WELDED STEEL WIRE FABRIC. SHEET TYPE - ROLLED TYPE NOT ACCEPTABLE.
- ALL REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE ACCURATELY PLACED IN THE POSITIONS SHOWN AND ADEQUATELY TIED AND SUPPORTED BEFORE CONCRETE IS PLACED TO PREVENT DISPLACEMENT BEYOND PERMITTED TOLERANCES.
- MINIMUM CONCRETE COVER FOR REINFORCING STEEL AS INDICATED ON THE DRAWINGS SHALL GOVERN WHEN IN CONFLICT WITH ACI 318-05.

ROUGH CARPENTRY NOTES:

- ROUGH CARPENTRY FOR THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION".
- WOOD FRAMING MEMBERS SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND THE FOLLOWING REQUIREMENTS:

A. MOISTURE CONTENT - SEASONED, WITH 19 PERCENT MAXIMUM MOISTURE CONTENT.
B. GRADE - NO. 2.
C. SPECIES - SOUTHERN PINE GRADED UNDER SPIB RULES.
- WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND SILL PLATES AROUND THE PERIMETER SHALL BE PRESERVATIVE-TREATED IN ACCORDANCE WITH THE SPECIFICATIONS.
- METAL FRAMING ANCHORS SHALL COMPLY WITH ASTM A 446 GRADE A (STRUCTURAL QUALITY). ANCHORS SHALL BE AS INDICATED OR EQUAL AND/OR SHALL BE CAPABLE OF SUPPORTING THE REACTIONS SHOWN.
- PROVIDE BRIDGING FOR ALL ROOF RAFTERS. MAXIMUM SPACING SHALL BE 8'-0" UNLESS OTHERWISE NOTED.
- PROVIDE HEADERS OF THE SAME CROSS SECTION AS OR RAFTERS TO FRAME AROUND ALL OPENINGS TO SUPPORT SHEATHING UNLESS OTHERWISE NOTED OR DETAILED ON THE DRAWINGS.
- UNLESS OTHERWISE NOTED, ATTACH BLOCKING AND NAILERS TO STEEL FRAMING USING 3/16" DIAMETER POWDER ACTUATED FASTENERS AT 12" ON-CENTER OR 1/2" DIAMETER BOLTS AT 24" ON-CENTER. STAGGER FASTENERS TO ALTERNATE SIDES OF BEAM WEB.
- WHERE MULTIPLE FRAMING MEMBERS ARE INDICATED, SCAB CONTINGENT MEMBERS TOGETHER WITH 10d NAILS AT 12" ON-CENTER, ALTERNATING AT 2 INCHES FROM EACH EDGE FOR MEMBERS 2X6 AND LESS AND TWO ROWS OF 10d NAILS AT 12" ON-CENTER, 2 INCHES FROM EACH EDGE FOR MEMBER 2X8 AND GREATER.
- ALL FASTENERS INTO MASONRY, OR TREATED TIMBER SHALL BE HOT-DIPPED GALVANIZED OR CORROSION RESISTANT.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

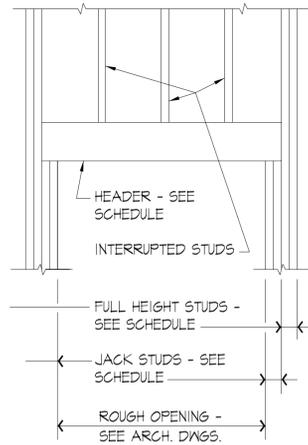
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d (2-1/2"x 0.118)	-----
1"x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-10d (2-1/2"x 0.118) 2 staples, 1 3/4"	-----
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d (3 1/2"x 0.135")	-----
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d (3 1/2"x 0.135")	16" o.c.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d (3 1/2"x 0.135")	-----
STUD TO SOLE PLATE, TOE NAIL	2-16d (3 1/2"x 0.135")	-----
DOUBLE STUDS, FACE NAIL	10d (3"x 0.128")	12" o.c.
DOUBLE TO PLATES, FACE NAIL	10d (3"x 0.128")	12" o.c.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d (3 1/2"x 0.135")	16" o.c.
DOUBLE TOP PLATES, MINIMUM 36" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	12-16d (3 1/2"x 0.135")	-----
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d (2-1/2"x 0.118)	-----
RIM JOIST TO TOP PLATE, TOE NAIL	8d (2-1/2"x 0.118)	6" o.c.
TOP PLATES, LAPS AT CORNERS AND AND INTERSECTIONS, FACE NAIL	4-10d (3"x 0.128")	-----
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d (3 1/2"x 0.135")	12" o.c. along each edge
CONTINUED HEADER, TWO PIECES	16d (3 1/2"x 0.135")	12" o.c. along each edge
CEILING JOISTS TO PLATE, TOE NAIL	3-12d (2-1/2"x 0.118)	-----
CONTINUOUS HEADER TO STUD, TOE NAIL	4-12d (2-1/2"x 0.118)	-----
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	5-10d (3"x 0.128")	-----
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	5-10d (3"x 0.128")	-----
RAFTER TO PLATE, TOE NAIL	2-16d (3 1/2"x 0.135")	-----
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d (2-1/2"x 0.118) 2 staples, 1 3/4"	-----
1"x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (2-1/2"x 0.118) 2 staples, 1 3/4"	-----
1"x 8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d (2-1/2"x 0.118) 3 staples, 1 3/4"	-----
WIDER THAN 1"x 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d (2-1/2"x 0.118) 4 staples, 1 3/4"	-----
BUILT-UP CORNER STUDS	10d (3"x 0.128")	12" o.c.
BUILT-UP CORNER GIRDERS AND BEAMS, 2" LUMBER LAYERS	10d (3"x 0.128")	* See note at bottom of schedule
2" PLANKS	2-16d (3 1/2"x 0.135")	At each bearing
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS:		
TOE NAIL	4-16d (3 1/2"x 0.135")	-----
FACE NAIL	3-16d (3 1/2"x 0.135")	-----
RAFTER TIES TO RAFTERS, FACE NAIL	5-10d (2-1/2"x 0.118)	-----
COLLAR TIE TO RAFTER, FACE NAIL, OR 1 1/4"x 20 GAGE RIDGE STRAP	3-10d (3"x 0.128")	-----
5/16" - 1/2" PLYWOOD	8d (2"x 0.118") nail (subfloor, wall) / 8d (2-1/2"x 0.131") nail (roof)	6" o.c. (edges) 12" o.c. (field)
1/4" - 1" PLYWOOD	10d (2-1/2"x 0.131") nail (roof)	6" o.c. (edges) 12" o.c. (field)
1/2" GYPSUM SHEATHING	1 1/2" galv. roof nail; 6d (2"x 0.131") nail; staple galv. 1 1/2"; 1 1/4" screen, type W or S	4" o.c. (edges) 8" o.c. (field)
5/8" GYPSUM SHEATHING	1 3/4" galv. roof nail; 6d (2"x 0.131") nail; staple galv. 1 5/8"; 1 5/8" screen, type W or S	4" o.c. (edges) 8" o.c. (field)
3/4" AND LESS SUBFLOOR UNDERLAYMENT TO FRAMING	8d (2-1/2"x 0.131") nail	6" o.c. (edges) 12" o.c. (field)
1/8" - 1" SUBFLOOR UNDERLAYMENT TO FRAMING	10d (2-1/2"x 0.131") nail	6" o.c. (edges) 12" o.c. (field)
1 1/8" - 1 1/4" SUBFLOOR UNDERLAYMENT TO FRAMING	12d (3"x 0.148") nail	6" o.c. (edges) 12" o.c. (field)

* NAIL EACH LAYER AS FOLLOWS: 32" o.c. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AT EACH SPLICE

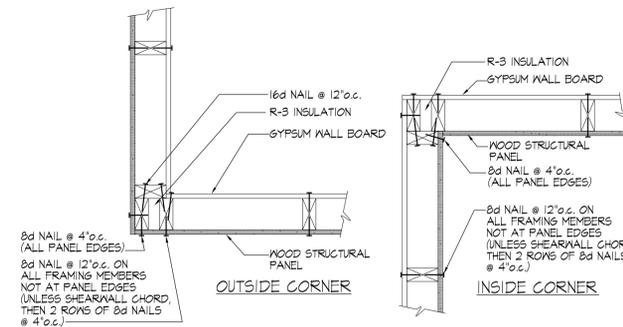
WOOD HEADER SCHEDULE NOTES:

- HEADER SCHEDULE APPLIES TO MEMBERS IN PERIMETER AND INTERIOR BEARING WALLS NOT OTHERWISE NOTED ON THE DRAWINGS.
- FULL HEIGHT STUDS APPLY TO EXTERIOR WALLS AND SHEARWALLS ONLY. PROVIDE SINGLE FULL HEIGHT STUD TO ALL OTHER WALLS.
- WHERE SPECIFIED JACK STUDS AND FULL HEIGHT STUDS WILL NOT FIT WITHIN THE WALL, PROVIDE FRAMING ANCHORS CAPABLE OF SUPPORTING THE FULL REACTION OF THE HEADER, AND FRAME HEADER INTO THE SIDE OF THE FULL HEIGHT STUDS.
- PROVIDE PLYWOOD FLITCH PLATES OR SPACERS AS REQUIRED.
- FOR HEADERS AT LARGER OPENINGS AND HEADERS WITH SPECIAL LOADS SEE PLAN FOR HEADER CONSTRUCTION.
- LUMBER SPECIES SHALL BE SOUTHERN YELLOW PINE #1 OR BETTER
- FILL ALL VOIDS WITH R-3 INSULATION

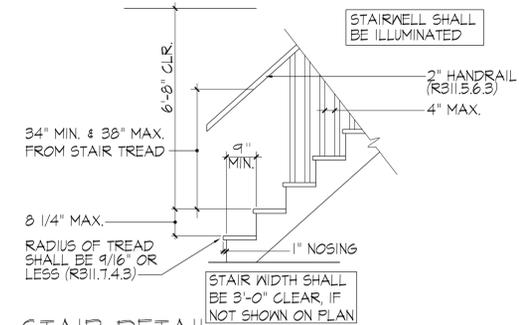
ROUGH OPENING	COMPOSITION 4	JACK STUDS		FULL HEIGHT STUDS	REMARK
		1ST FLOOR	2ND FLOOR		
0 TO 4'-0"	2-2x8	2	1	2	---
4'-1" TO 6'-0"	2-2x10	2	2	3	---
6'-1" TO 7'-6"	2-2x12	2	2	4	---
7'-7" TO 9'-0"	2-LVL'S	3	2	5	---



TYPICAL OPENING
TYPICAL WOOD HEADER DETAIL
NOT TO SCALE:

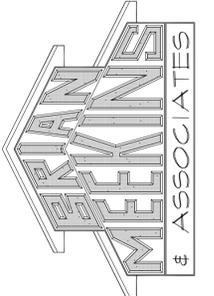


CORNER FRAMING DETAILS
NOT TO SCALE:



STAIR DETAIL
NOT TO SCALE:

* CUSTOM HOME PLANS
* ADDITIONS
* RENOVATIONS
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VA. BEACH, VIRGINIA 23462
EMAIL - Meekins@live.com
CELL-(252) 993-8978



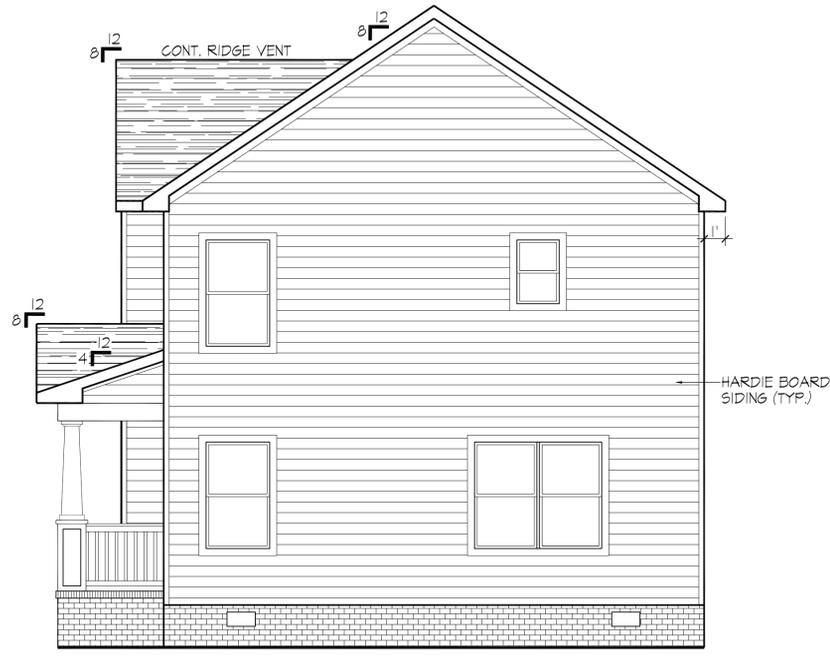
NOTES, SCHEDULES, & DETAILS
SINGLE FAMILY RESIDENCE
CHARLESTON HISTORICAL MODEL
100 & 104 WEBSTER AVENUE
PORTSMOUTH, VIRGINIA

DATE:
07.02.20

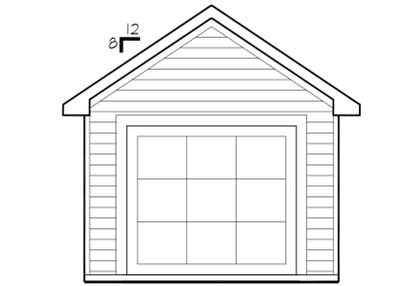
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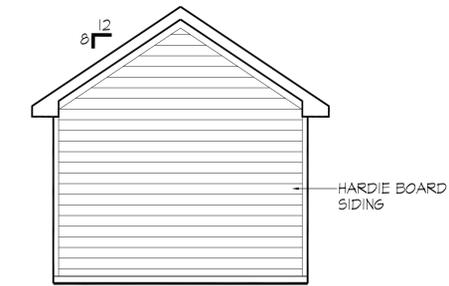
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 1/4" = 1'-0"

GARAGE	240 S.F.
FIRST FLOOR	891 S.F.
SECOND FLOOR	891 S.F.
TOTAL LIVING	1,752 S.F.

ROOF VENTILATION CALCULATION	
ATTIC SF	= 891 SF.
891/300	= 2.97 SF.
2.97 * 144	= 414.72 S.F.
414.72 / 2	= 207.36 S.F.
207 S.F.	REQUIRED FOR SOFFIT
104 S.F.	FOR EACH OF 2 SIDES
207 S.F.	REQUIRED FOR ROOF SURFACE



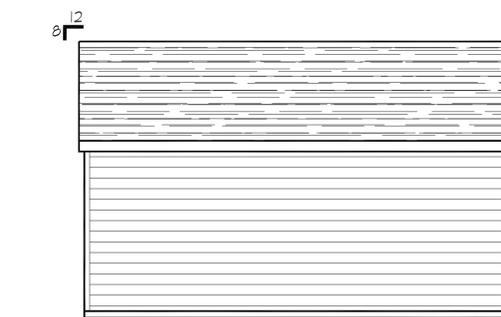
REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

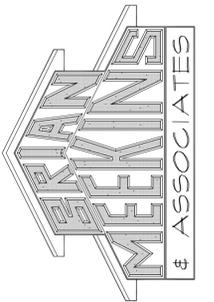


GARAGE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

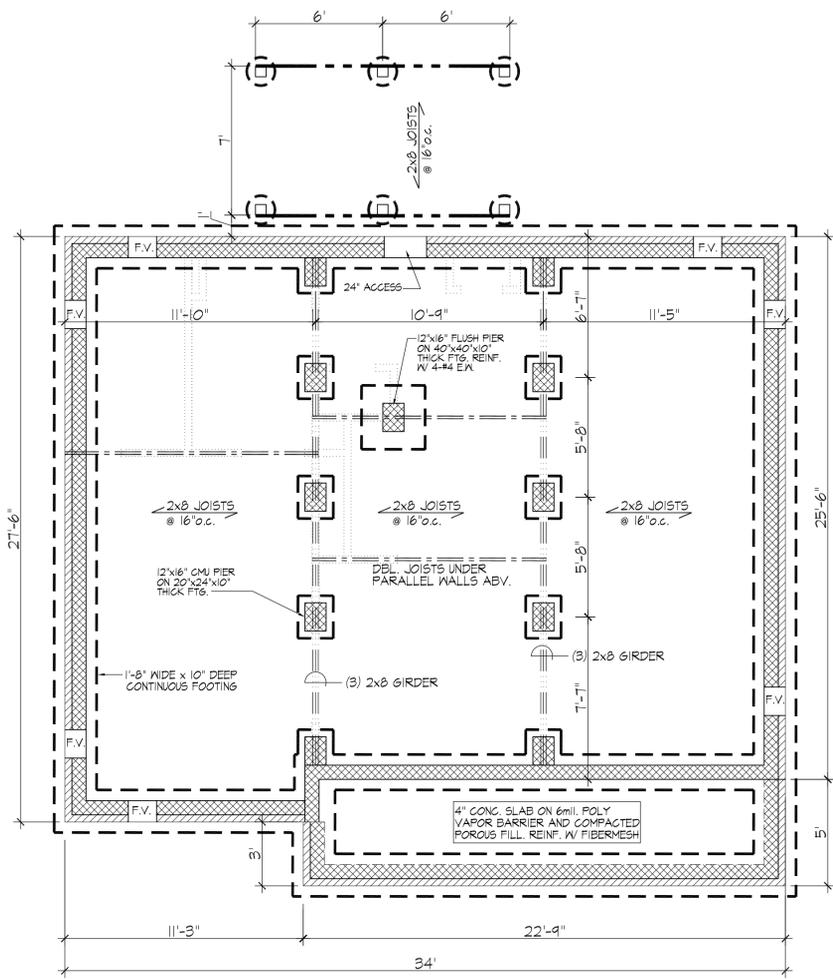
* CUSTOM HOME PLANS
* ADDITIONS
* RENOVATIONS
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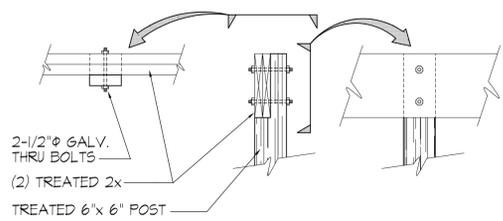
ELEVATIONS
SINGLE FAMILY RESIDENCE
CHARLESTON HISTORICAL MODEL
100 & 104 WEBSTER AVENUE
PORTSMOUTH, VIRGINIA

DATE:
07.02.20

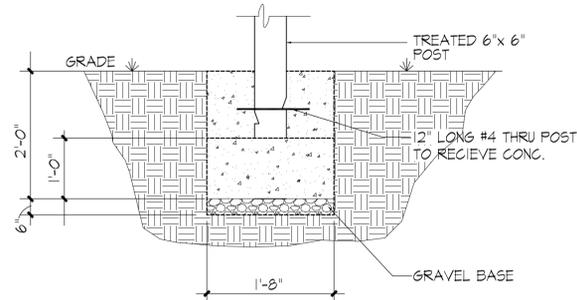
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OF 4



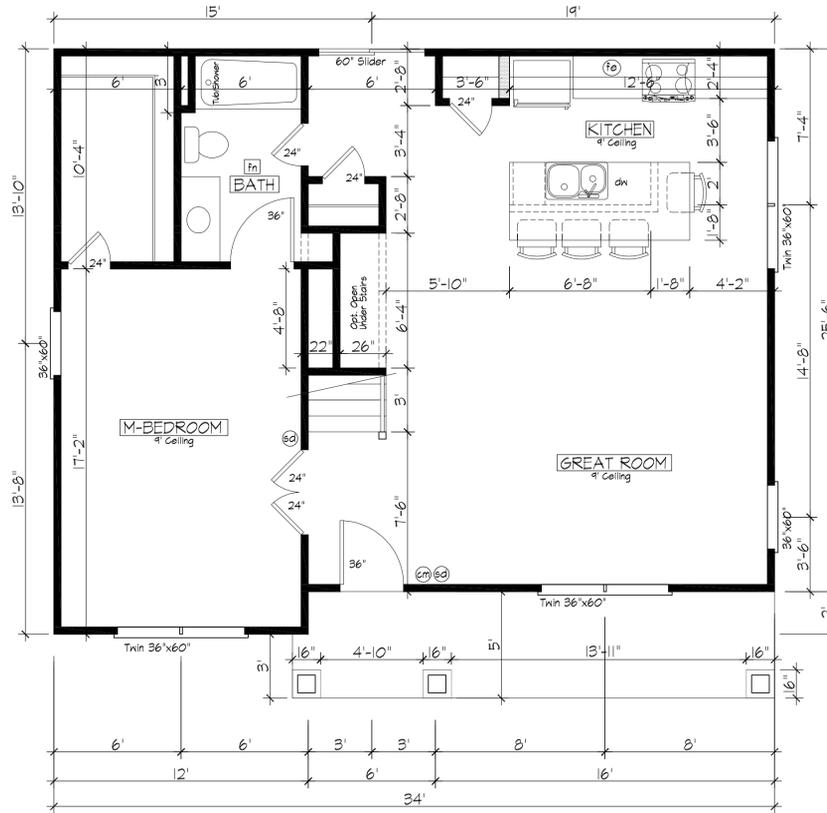
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



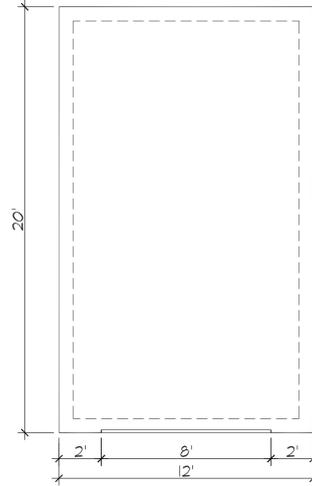
DECK FRAMING DETAILS
NOT TO SCALE:



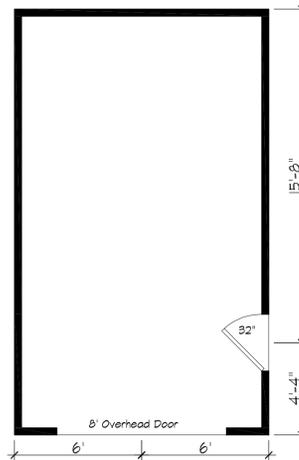
POST DETAIL
NOT TO SCALE:



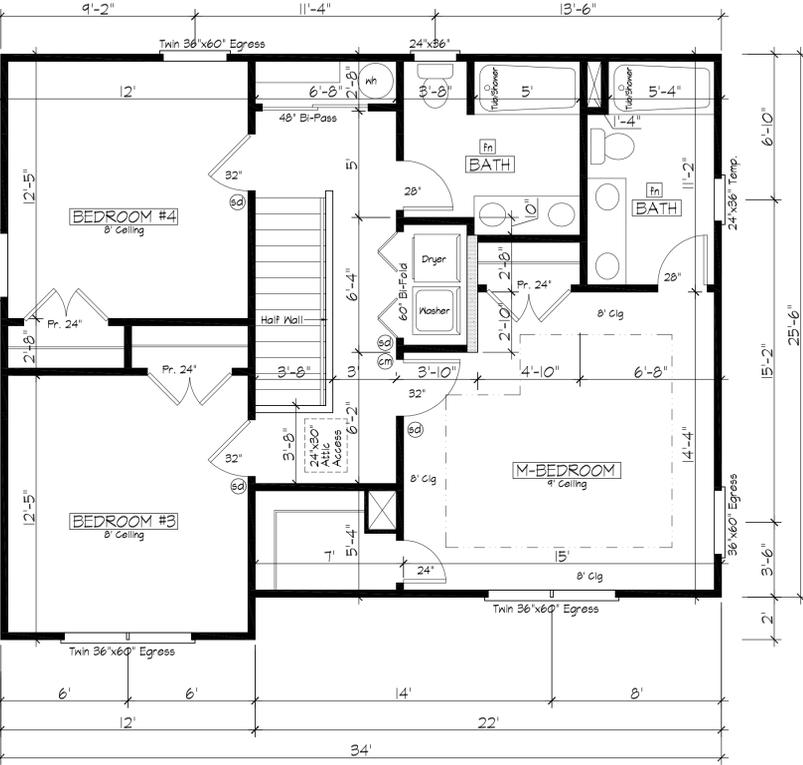
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" 891 S.F.



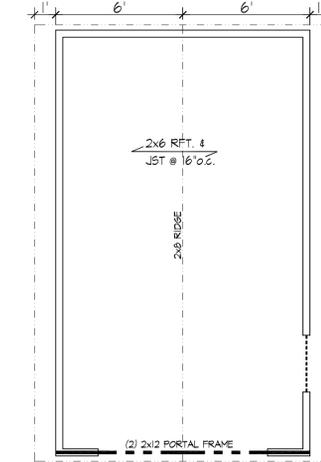
GARAGE FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



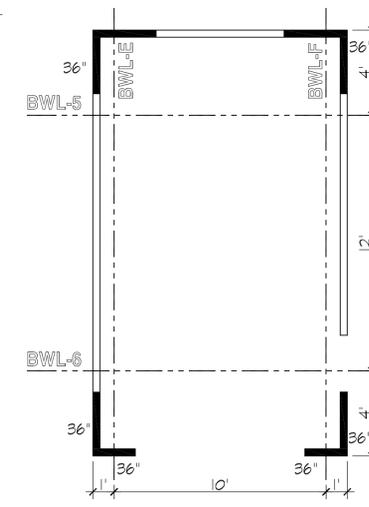
GARAGE PLAN
SCALE: 1/4" = 1'-0"



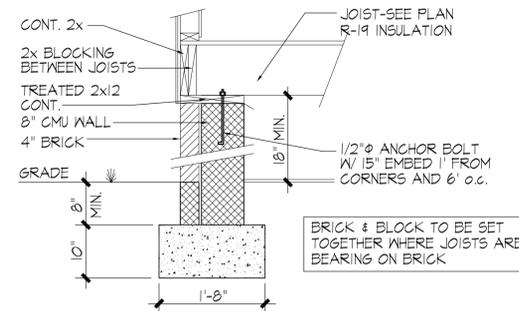
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" 891 S.F.



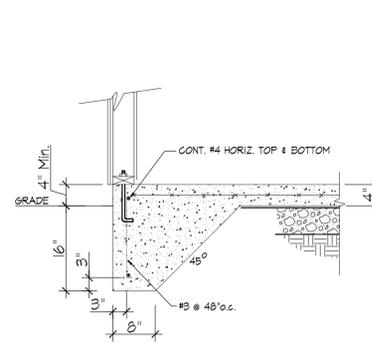
GARAGE FRAMING PLAN
SCALE: 1/4" = 1'-0"



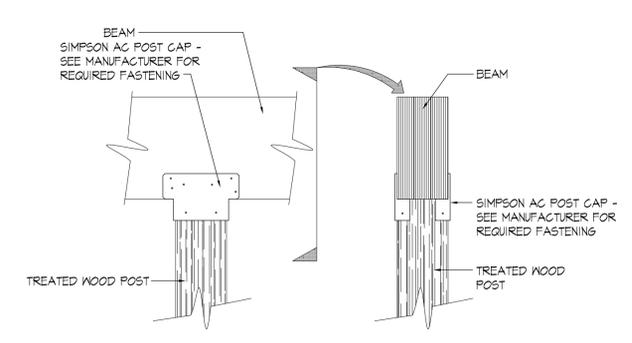
GARAGE BRACED WALL PLAN
SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



GARAGE FOUNDATION SECTION
SCALE: 3/4" = 1'-0"



TYPICAL POST CAP TO BEAM DETAIL
NOT TO SCALE:

MEANS & ASSOCIATES

* CUSTOM HOME PLANS
* ADDITIONS
* RENOVATIONS

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PLANS, DETAILS & SECTIONS

SINGLE FAMILY RESIDENCE
CHARLESTON HISTORICAL MODEL
100 & 104 WEBSTER AVENUE
PORTSMOUTH, VIRGINIA

DATE:
07.02.20

SHEET:
A3
OF 4



Historic Preservation Commission Case Listing

06/16/2020 to 07/16/2020

Recvd	Case #	Address	Name	Status	District
06/17/20	HPC-20-00102 siding	218 LONDON ST	WISE BETTY K	APP	Olde Towne
	Approved Work:	Administrative Approval to remove existing vinyl siding on the second floor, restore or replace with wooden siding. Siding to be painted same color color as existing.			
06/23/20	HPC-20-00103 Roof	321 MARYLAND AVE	SMITH WILLIAM C & LINDA M	APP	Port Norfolk
	Approved Work:	Administrative Approval to replace existing 3tab roofing shingles inkind. No change in material			
06/23/20	HPC-20-00104 REPAINT	447 DINWIDDIE ST	KOLODZIEJ GLORIA HOGGE	APP	Olde Towne
	Approved Work:	Administrative Approval to repaint body of house Naval SW#6244 and door Classical Yellow SW#2865.			
06/23/20	HPC-20-00105 repaint	449 DINWIDDIE ST	CLARK MICHAEL S & BRENDA F	APP	Olde Towne
	Approved Work:	Administrative Approval to repaint body of house Naval SW#6244 and door Classical Yellow SW#2865.			
06/25/20	HPC-20-00106 FENCE	24 BAGLEY ST	S ANN JACOBS RONETTE D & SANDERLIN I	APP	Truxton
	Approved Work:	Administrative Approval to replace existing 6ft wooden privacy fence inkind. NO change in material.			
06/25/20	HPC-20-00107 FOUNDATION	79 GILLIS RD	U S BANK TRUST NA TRUST	APP	Cradock
	Approved Work:	Administrative Approval to stabilize existing foundation. Not seen from the public right of way. All jobs are internal.			
06/29/20	HPC-20-00108 repair	309 NORTH ST	ODONNELL ROBERT J & JOSEPHINE	APP	Olde Towne
	Approved Work:	Adminstrative Approval to repair or replace the rotted wood that is in the front porch inkind. And to clean the cement and seal with fresh cement on front porch. Replace all rotted any where on the building with same kind of wood and scrape and repaint same color.			
07/16/20	HPC-20-00109 Request to replace existing metal roof with architectural shingle.	1050 LECKIE ST	RUSSELL BEVERLY D & BENNETT MICHAEL	REC	Park View
	Approved Work:				
07/16/20	HPC-20-00110 Request to replace 11 six over six windows with Earthwise iS300 vinyl windows, white with colonial grids.	36 CUSHING ST	BAGGAYAN REUBEN M & NANCY J	REC	Cradock
	Approved Work:				



Historic Preservation Commission Case Listing

06/16/2020 to 07/16/2020

Recvd	Case #	Address	Name	Status	District
07/16/20	HPC-20-00111	100 WEBSTER AVE	OTC VENTURE THREE LLC	REC	Park View
Request for new construction single-family dwelling at 100 Webster and 104 Webster					
Approved Work:					
07/16/20	HPC-20-00112	104 WEBSTER AVE	OTC VENTURE THREE LLC	REC	Park View
Sean Collins-Harris seeks approval to construct a new two-story single-family dwelling with a front porch, a back deck, and a detached garage. The proposed dwelling will use smooth hardie board siding, architectural shingles on the roof, and one over one composite windows. The property is located at 100 Webster Avenue (Park View).					
Approved Work:					